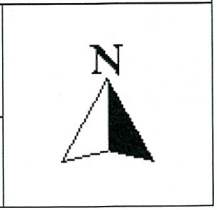
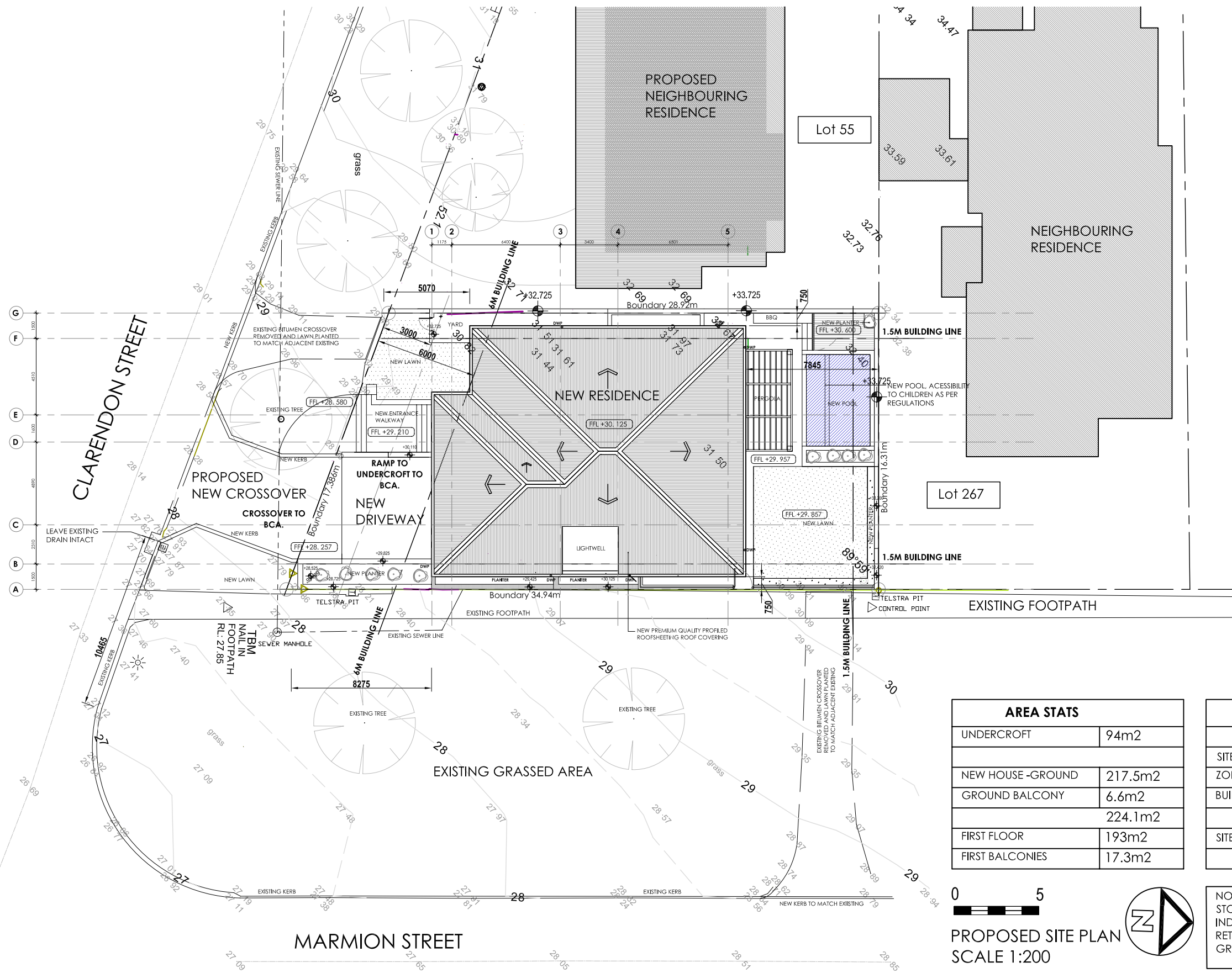


LOT B

The Town of Cottesloe does not warrant the accuracy of information in this publication and any person using or relying upon such information does so on the basis that the Town of Cottesloe shall bear no responsibility or liability whatsoever for any errors, faults, defects or omissions in the information.

Scale 1:443
Thursday, 8 May
2014



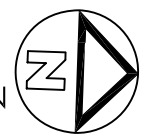


AREA STATS	
UNDERCROFT	94m ²
NEW HOUSE -GROUND	217.5m ²
GROUND BALCONY	6.6m ²
	224.1m ²
FIRST FLOOR	193m ²
FIRST BALCONIES	17.3m ²

SITE STATS	
SITE AREA	521m ²
ZONING	R20
BUILT AREA	224.1m ²
SITE COVER	43%

0 5

 PROPOSED SITE PLAN
 SCALE 1:200



NOTE
 STORMWATER DRAINAGE TO BE
 INDICATED ON GROUND FLOOR PLAN
 RETAINING WALL HEIGHTS SHOWN ON
 GROUND PLAN

GENERAL NOTES.
 DO NOT SCALE OFF DRAWINGS.
 THE BUILDER TO CHECK ALL DIMENSIONS, LEVELS AND SITE CONDITIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES MUST BE BROUGHT TO THE CLIENTS ATTENTION.
 THE BUILDER IS TO CONSTRUCT HOMESTEAD IN COMPLIANCE WITH THE BUILDING CODE OF AUSTRALIA, THE "R" CODES, AND THE TOWN OF COTTESLOE LOCAL PLANNING SCHEME NO.2.
 DRAWINGS TO BE READ WITH THE ENGINEERS DRAWINGS, DETAILS AND SPECIFICATIONS.
 ALL ELECTRICAL AND GAS WORK TO BE CONSTRUCTED IN ACCORDANCE WITH SYNERGY AND ALINTA GAS REQUIREMENTS

STATUS KEY: **SD**=SKETCH DESIGN **P**=PLANNING
T=TENDER **C**=CONSTRUCTION

ISSUED FOR:
PLANNING

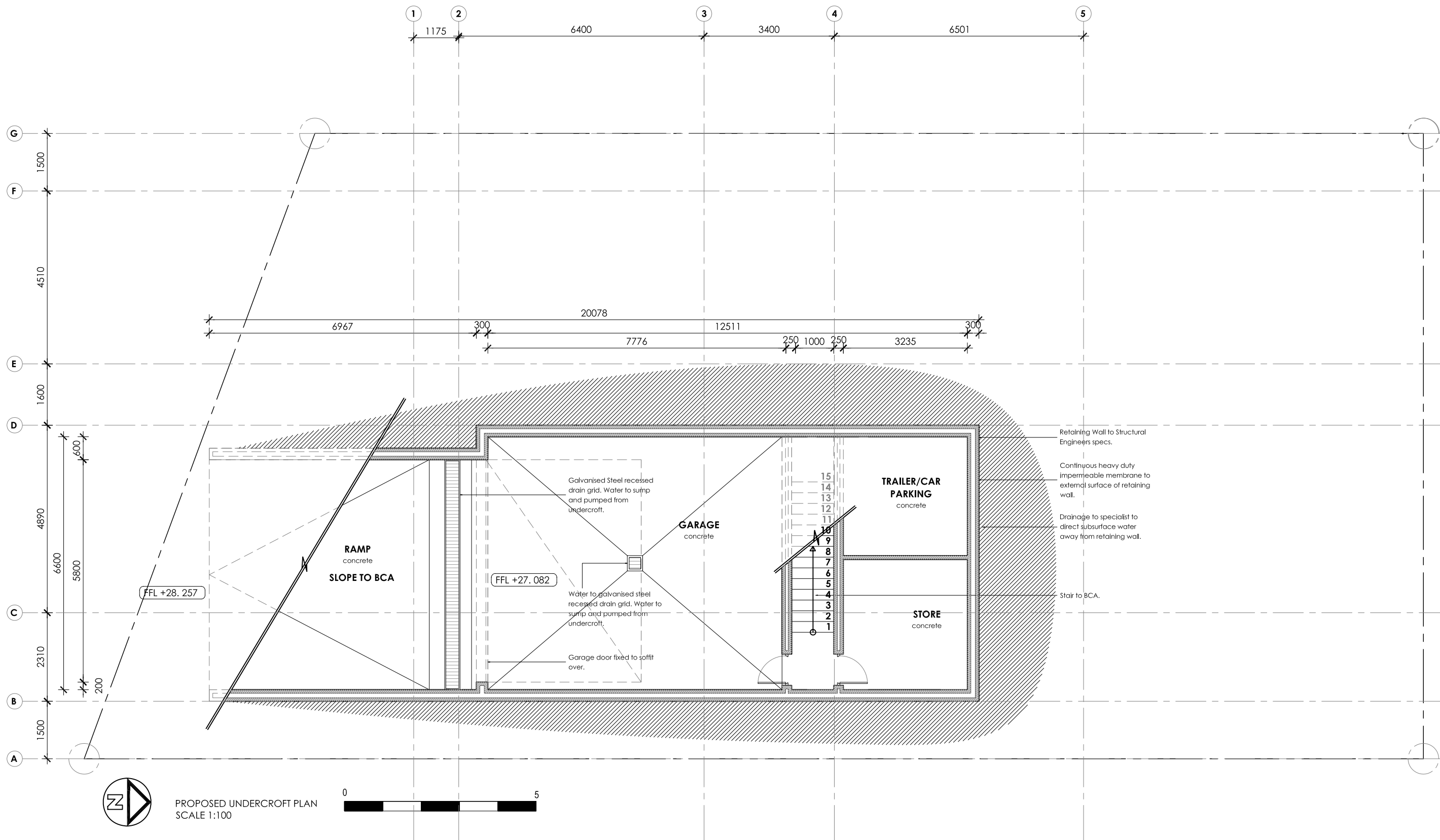


CLIENT:
ALEX AND LANA NOBLE

PROJECT: **LOT B
 265 MARMION STREET
 COTTESLOE**

DWG: **SITE PLAN** DATE: **17/04/14**

DWG NO: **01** REV: **A**



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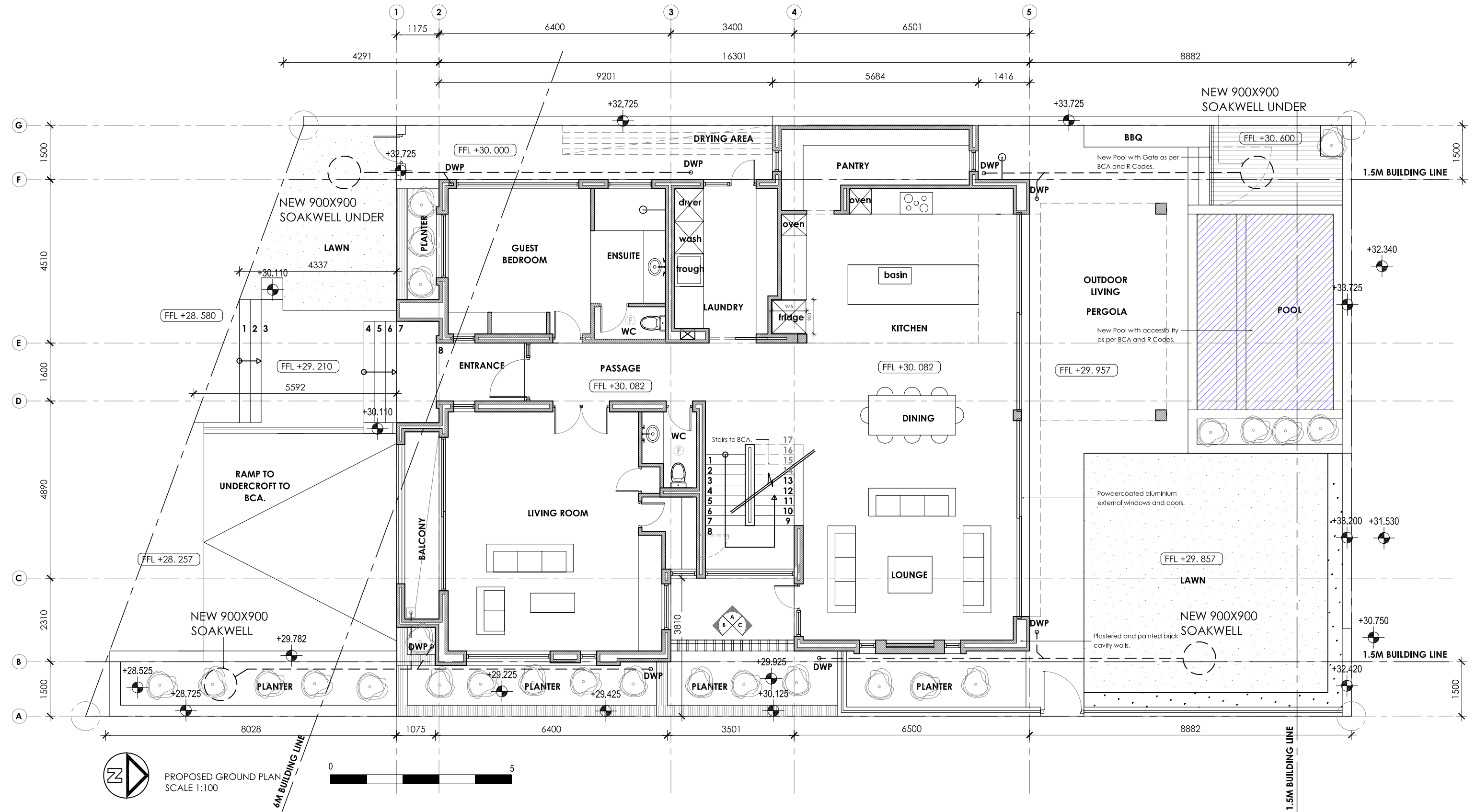


CLIENT:
ALEX AND LANA NOBLE

PROJECT: LOT B
265 MARMION STREET
COTTESLOE

DWG: UNDERCROFT PLAN
DATE: 17/04/14

DWG NO: 02
REV: A



GENERAL NOTES.
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STATUS KEY: SD=SKETCH DESIGN P=PLANNING
T=TENDER C=CONSTRUCTION

ISSUED FOR: PLANNING



CLIENT: ALEX AND LANA NOBLE

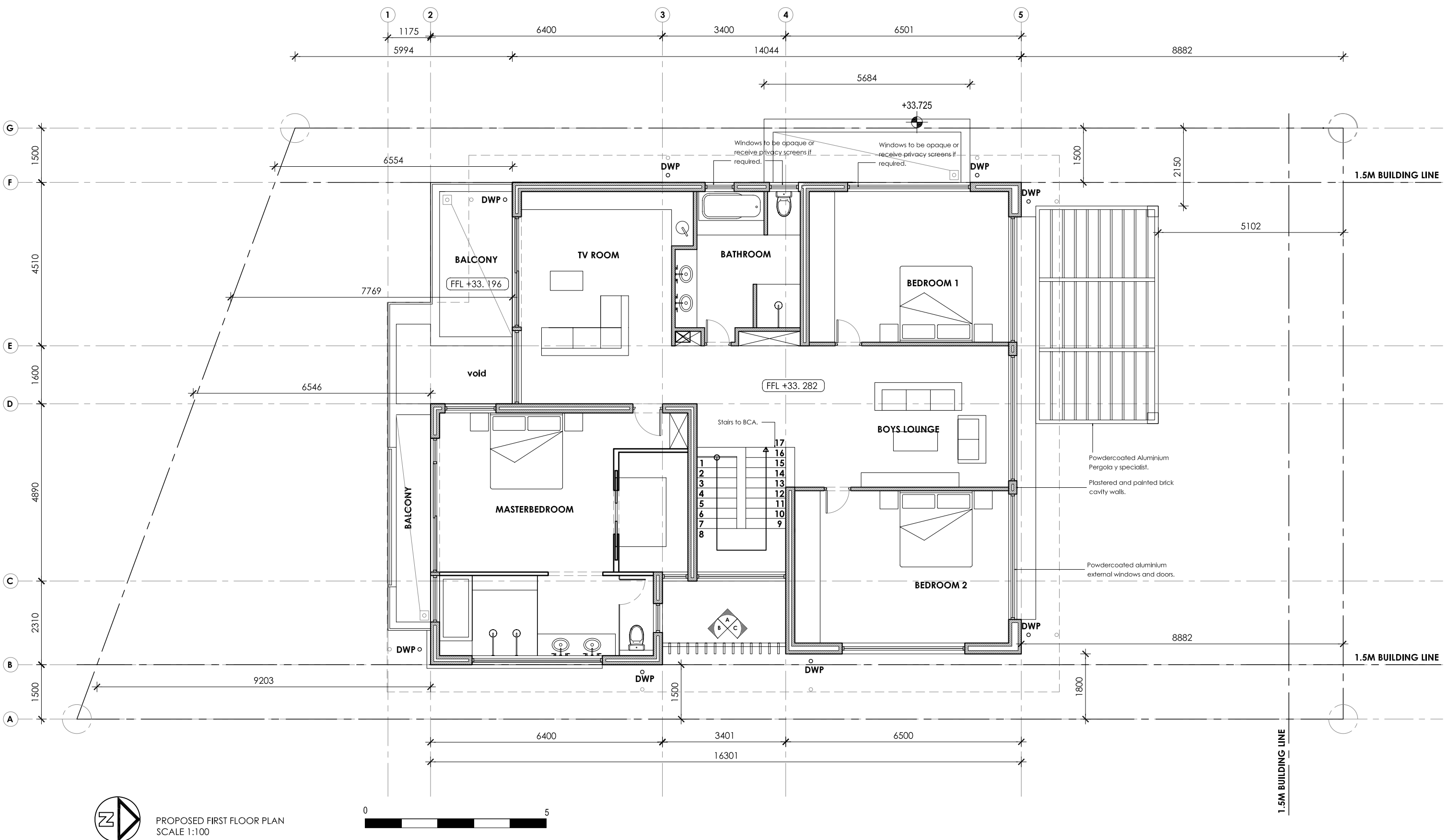
PROJECT: LOT B
265 MARMION STREET
COTTESLOE

DWG: GROUND PLAN

DATE: 17/04/14

DWG NO: 03

REV: A



 PROPOSED FIRST FLOOR PLAN
SCALE 1:100



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ISSUED FOR:
PLANNING



ENGELS
BUILDING DESIGN
AND DRAFTING

C 0431007708
O 0894467697
A 5 Frome Street, Karrinyup WA 6018

CLIENT:
ALEX AND LANA NOBLE

PROJECT: **LOT B
265 MARMION STREET
COTTESLOE**

DWG:	DATE:
LEVEL 1 PLAN	17/04/14
DWG NO:	REV:
04	A



GENERAL NOTES.
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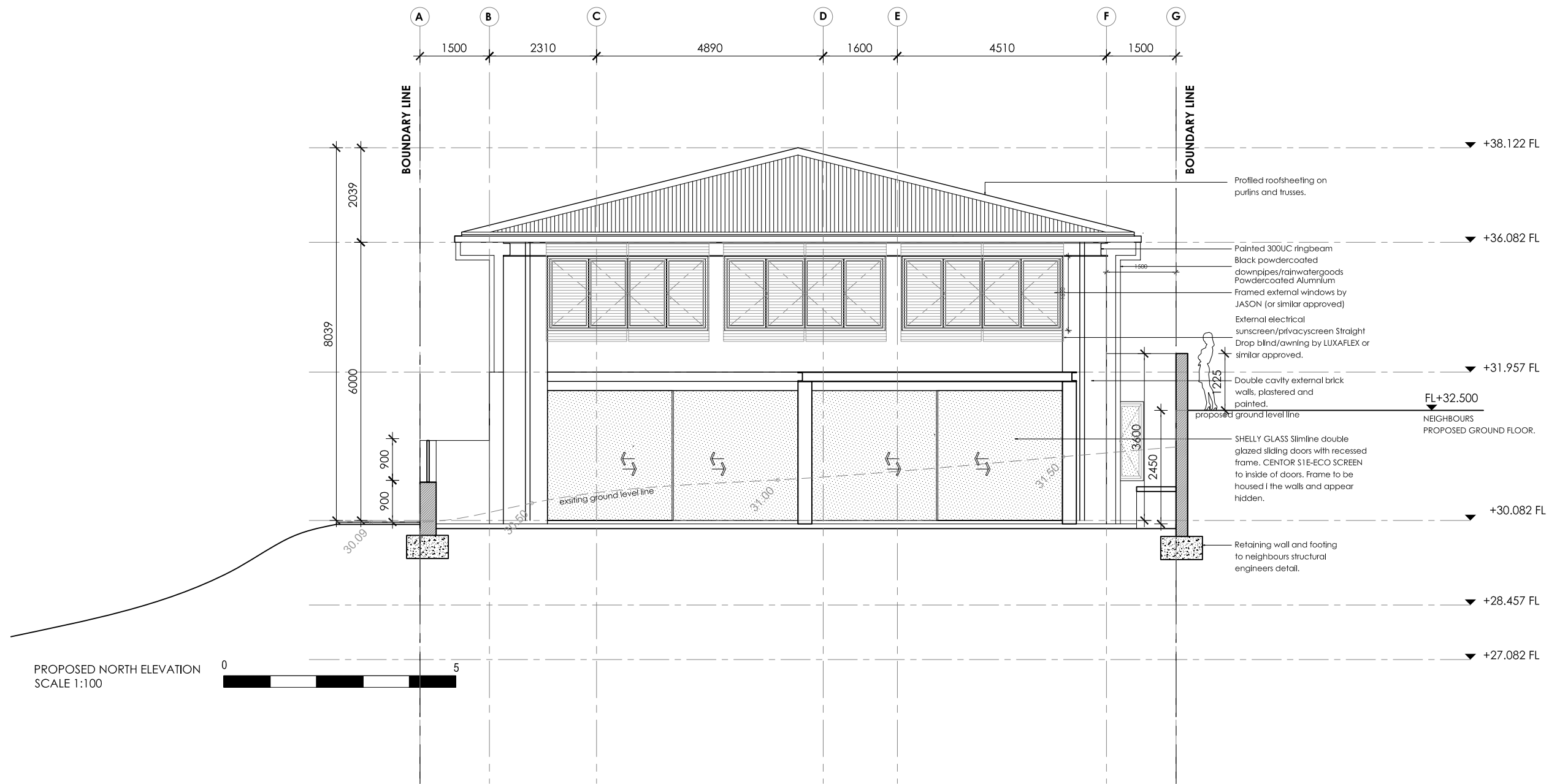
ISSUED FOR:
PLANNING



CLIENT:
ALEX AND LANA NOBLE

PROJECT: **LOT B
 265 MARMION STREET
 COTTESLOE**

DWG:	ELEVATION	DATE:	17/04/14
DWG NO:	05	REV:	A



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ISSUED FOR:
PLANNING



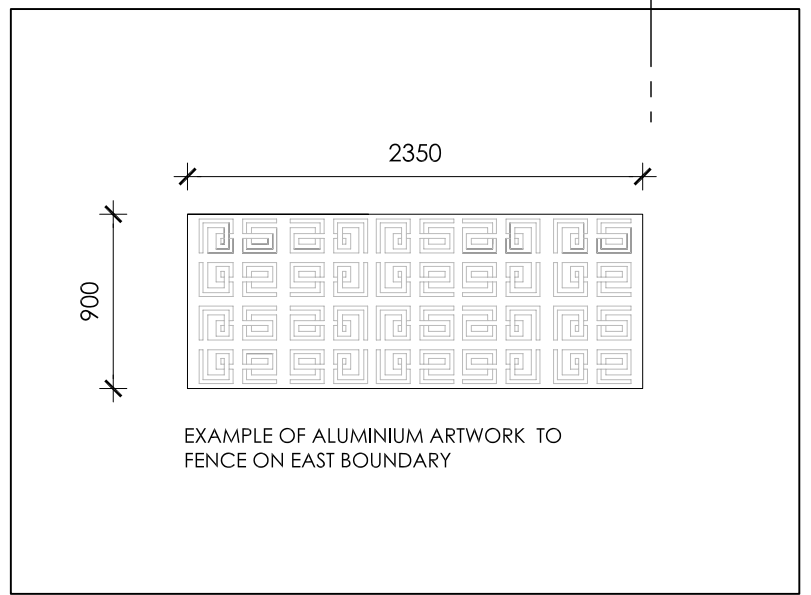
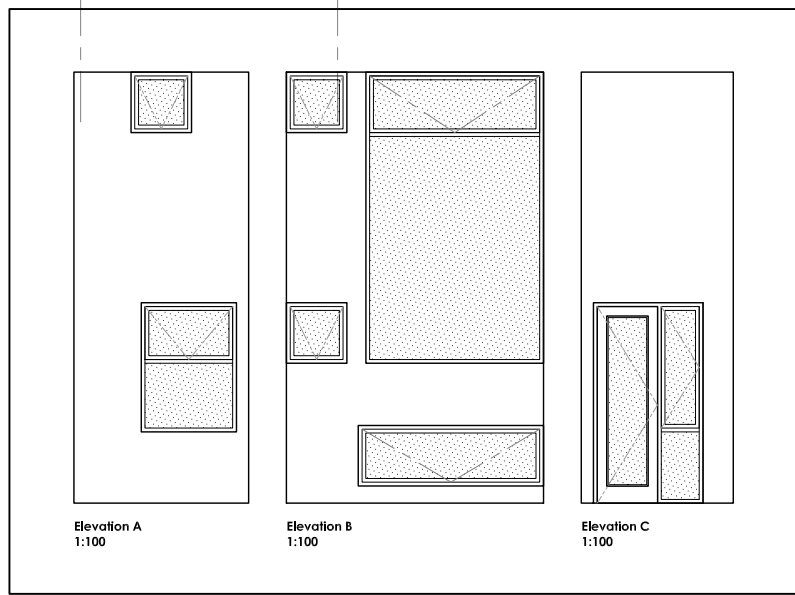
CLIENT:
ALEX AND LANA NOBLE

PROJECT: **LOT B
265 MARMION STREET
COTTESLOE**

DWG:	DATE:
ELEVATION	17/04/14
DWG NO:	REV:
06	A



PROPOSED EAST ELEVATION
SCALE 1:100



GENERAL NOTES.
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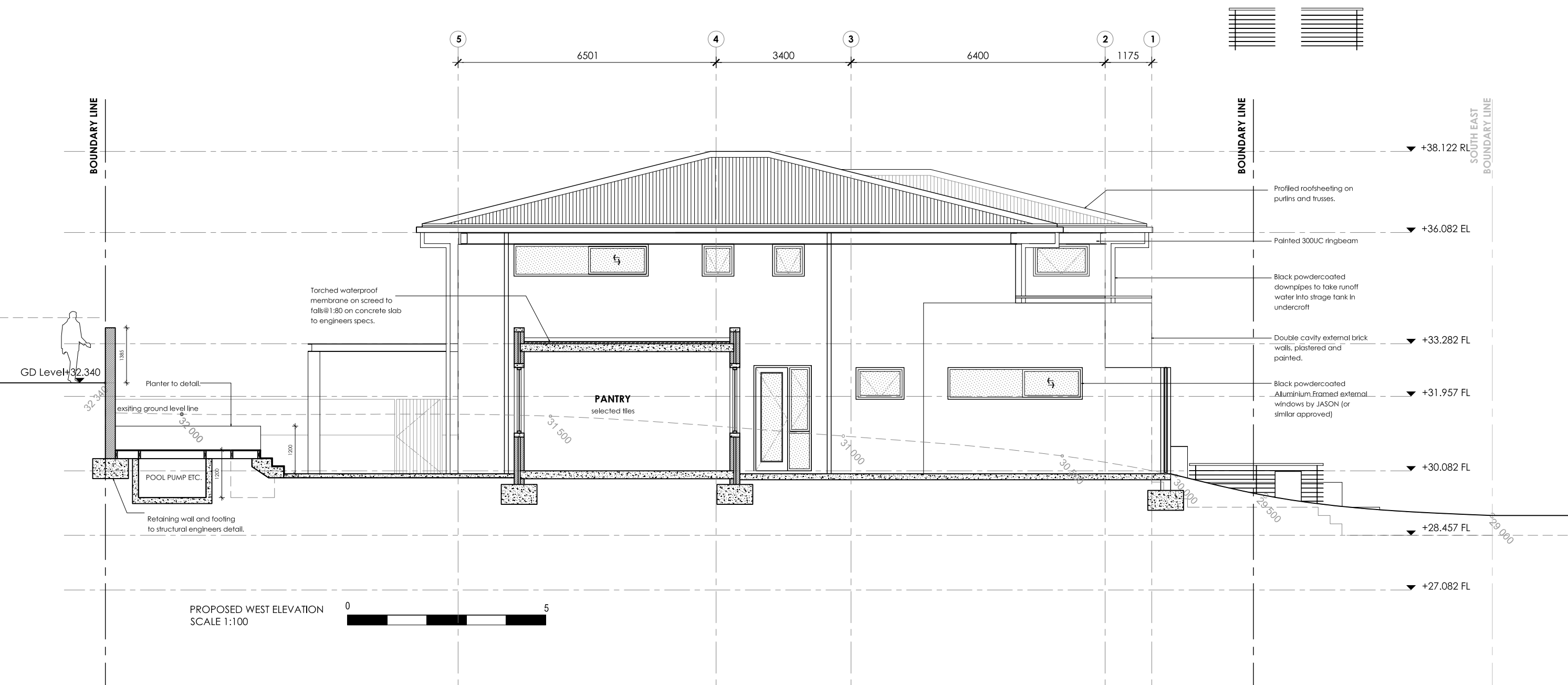


CLIENT:
ALEX AND LANA NOBLE

PROJECT: **LOT B
265 MARMION STREET
COTTESLOE**

DWG: **ELEVATIONS** DATE: **17/04/14**

DWG NO: **07** REV: **A**



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PLANNING

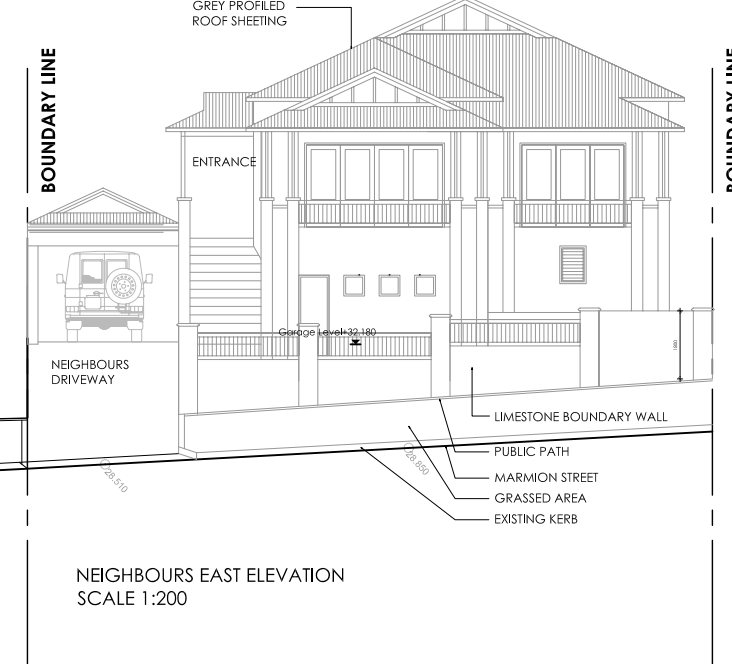
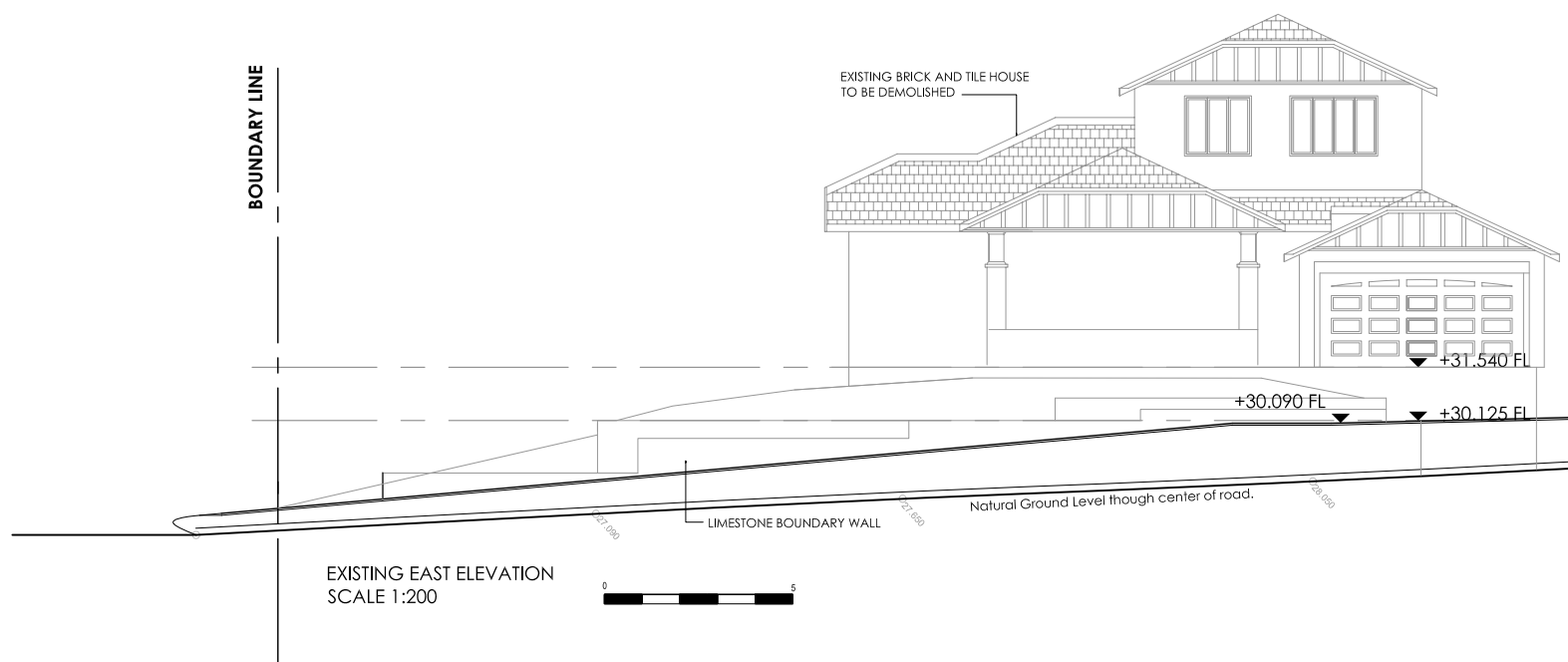
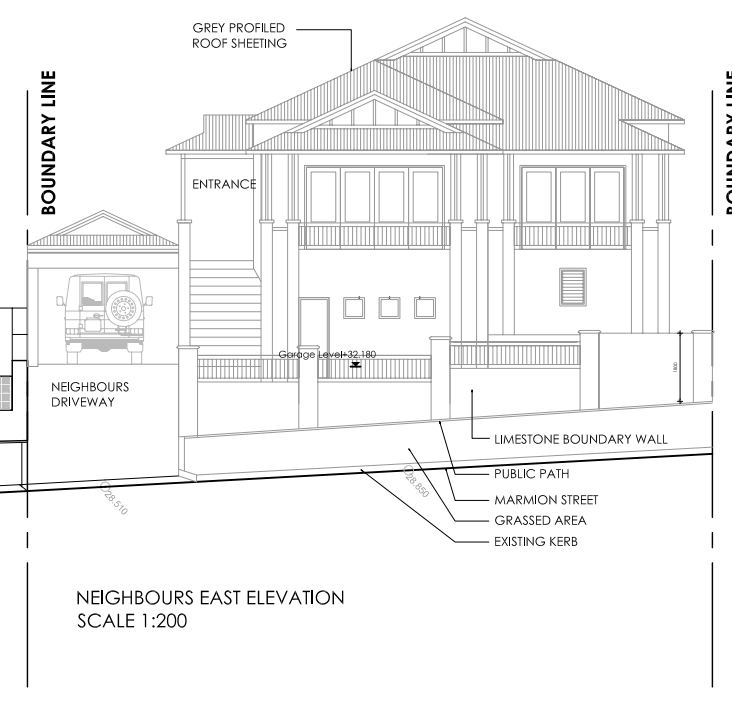
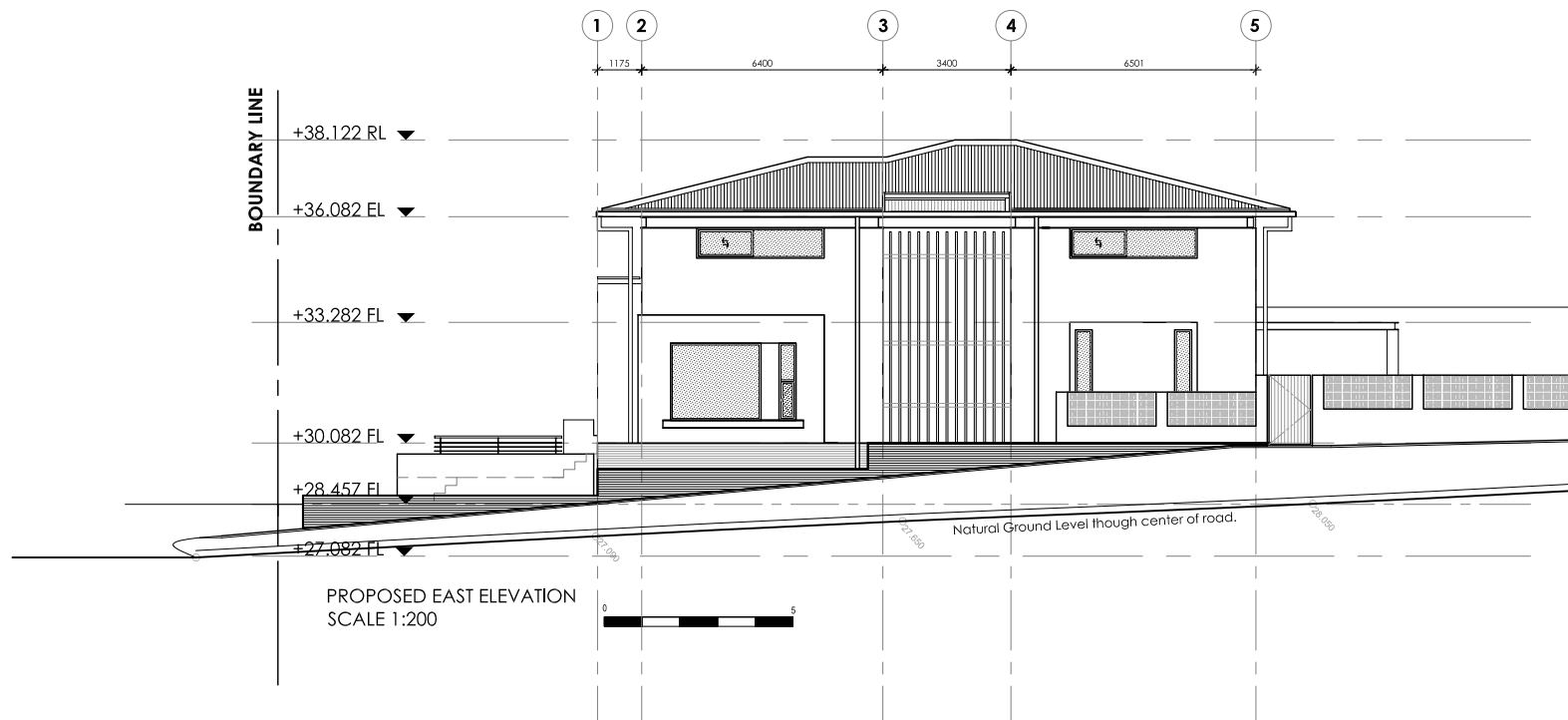


CLIENT:
ALEX AND LANA NOBLE

PROJECT: **LOT B
 265 MARMION STREET
 COTTESLOE**

DWG: **ELEVATIONS** DATE: **17/04/14**

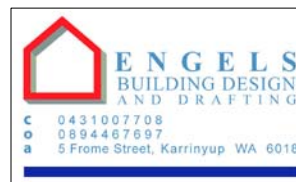
DWG NO: **08** REV: **A**



GENERAL NOTES.
 1. SCALE OFF DRAWINGS.
 2. REFER TO CHECK ALL DIMENSIONS, LEVELS AND SITE CONDITIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES MUST BE BROUGHT TO THE CLIENTS ATTENTION.
 3. REFER TO CONSTRUCT HOMESTEAD IN COMPLIANCE WITH THE BUILDING CODE OF AUSTRALIA, THE "R" CLASSIFICATION AND THE TOWN OF COTTESLOE LOCAL PLANNING SCHEME NO.2.
 4. THIS DRAWING IS TO BE READ WITH THE ENGINEERS DRAWINGS, DETAILS AND SPECIFICATIONS.
 5. ELECTRICAL AND GAS WORK TO BE CONSTRUCTED IN ACCORDANCE WITH SYNERGY AND ALINTA GAS STANDARDS.

STATUS KEY: **SD**=SKETCH DESIGN **P**=PLANNING
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ISSUED FOR:
PLANNING

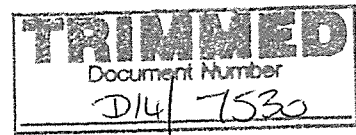


CLIENT:
ALEX AND LANA NOBLE

PROJECT: **LOT B
 265 MARMION STREET
 COTTESLOE**

DWG: **09** DATE: **17/04/14**
COMPOSITE ELEVATIONS

DWG NO: **09** REV: **A**



2 April 2014

Planning Department
Town of Cottesloe
PO Box 606
Cottesloe, WA, 6911

ATTN: Ed Druitt

RE: APPLICATION FOR PLANNING APPROVAL FOR LOT B 265 MARMION STREET, COTTESLOE

Dear Ed,

Please find enclosed the required documents for assessment of our proposed residence at Lot B 265 Marmion St. The existing 265 Marmion St is currently being subdivided into two new green title lots, clearance of subdivision conditions are currently being sought from Town of Cottesloe. Titles are expected to be issued in the near future, with the new address to be 16 Clarendon Street. As part of this document we are seeking dispensation on some minor variations to Council policy and R-codes for the development of the proposed new residence.

We seek dispensation for a reduced front setback from a 6 metre minimum to an average of 6 metres, as per the R-codes. The justification is that the front lot boundary is not a 90 right angle as the western boundary is some 6 metres shorter than the eastern boundary. The south eastern point of the building is setback 9.1m from the lot boundary, with the south western point being 4.3m. An aerial image of the street (enclosed) shows the obtuse angle (69°) of the front boundary and that the proposed position of the residence is in keeping with the other houses in the street. There will be no front fence, with sympathetic landscaping installed to ensure the verge and front landscaping is contiguous, maintaining the streetscape.

We also seek a variation to the R-codes to the side setback to the western boundary. The building is setback 1.5m from the boundary with no major openings in the western wall. Clarendon Street slopes considerably from west to east resulting in the adjoining property sitting higher than the proposed residence. The effect will be that the adjoining neighbour will read the western elevation as a single storey residence rather than a two storey residence. This variation will not have an impact on the adjoining western property. The neighbours of the adjoining property have reviewed our proposal and have no objections and have signed off on the attached documentation.

The residence is designed to be modern using sustainable principles. It maximises the use of natural lighting with living and outside areas facing the north to maintain an optimum living environment. The nature of homes within Cottesloe are a blend of traditional, new and modern styles and we feel our proposed residence is in keeping with the existing and new homes being built within the area.

Should you have any questions or require further clarification please do not hesitate to contact myself.

Regards,

A handwritten signature in black ink, appearing to be "Alex Noble".

Alex Noble
Owner of Lot B 265 Marmion St.
0438 631 282

