

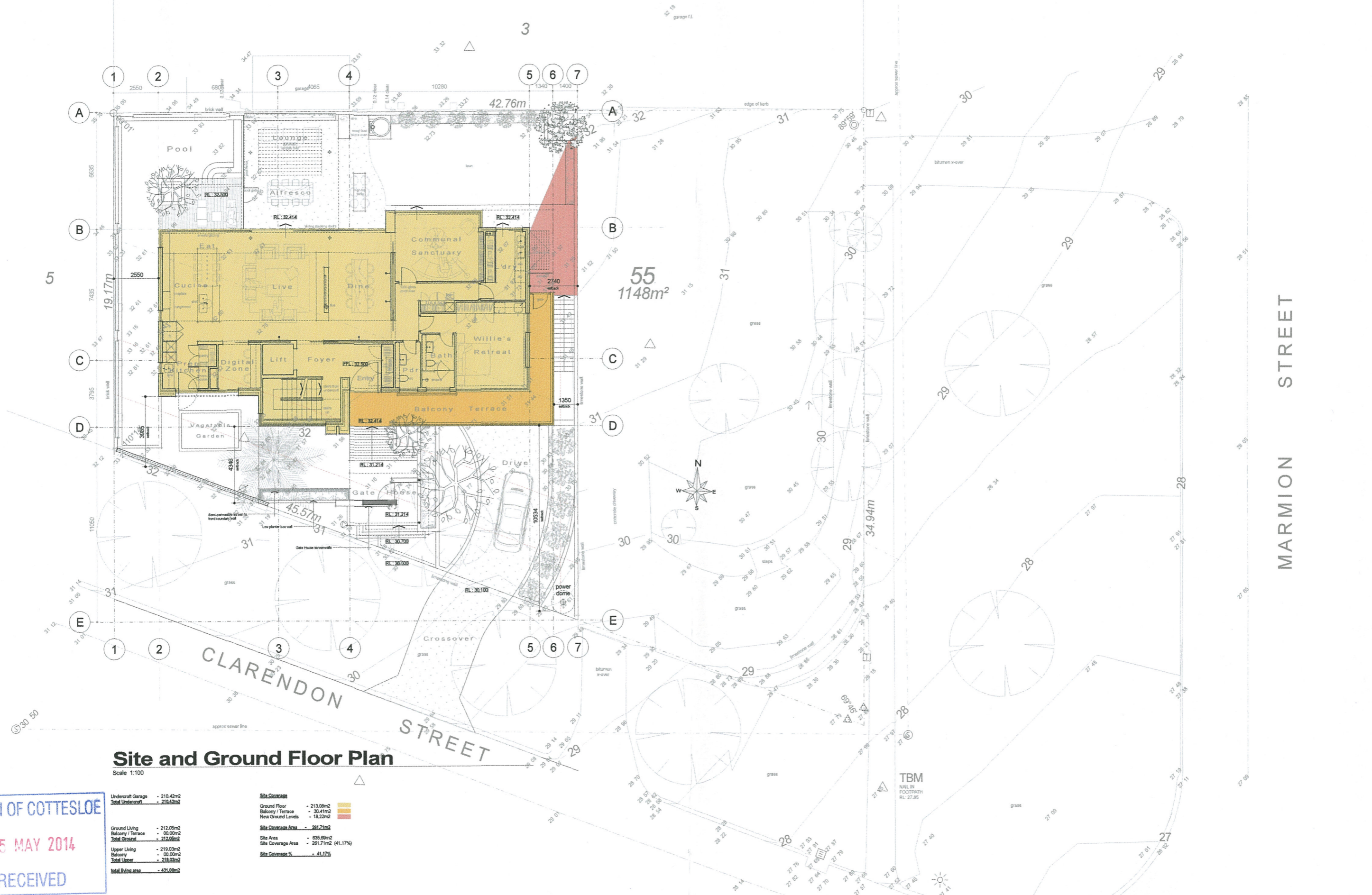
**LOT A**

The Town of Cottesloe does not warrant the accuracy of information in this publication and any person using or relying upon such information does so on the basis that the Town of Cottesloe shall bear no responsibility or liability whatsoever for any errors, faults, defects or omissions in the information.

Scale 1:443

Thursday, 8 May 2014





**Site and Ground Floor Plan**

Scale 1:100

**TOWN OF COTTESLOE**  
 - 5 MAY 2014  
 RECEIVED

Undercroft Garage		Site Coverage	
Undercroft Garage	- 210.42m <sup>2</sup>	Ground Floor	- 213.08m <sup>2</sup>
Total Undercroft	- 210.42m <sup>2</sup>	Balcony / Terrace	- 30.41m <sup>2</sup>
		New Ground Levels	- 18.22m <sup>2</sup>
		<b>Site Coverage Area</b>	<b>- 261.71m<sup>2</sup></b>
		Site Area	- 635.69m <sup>2</sup>
		Site Coverage Area	- 261.71m <sup>2</sup> (41.17%)
		<b>Site Coverage %</b>	<b>- 41.17%</b>
Ground Living	- 212.05m <sup>2</sup>		
Balcony / Terrace	- 00.00m <sup>2</sup>		
Total Ground	- 212.05m <sup>2</sup>		
Upper Living	- 219.03m <sup>2</sup>		
Balcony	- 00.00m <sup>2</sup>		
Total Upper	- 219.03m <sup>2</sup>		
<b>Total Living Area</b>	<b>- 431.08m<sup>2</sup></b>		

**GENERAL NOTES**

- All dimensions to be checked & verified by builder prior to commencement of work.
- Dimensions indicate sub-structure sizes prior to finish surface treatment.
- These drawings are to be read in conjunction with Engineers drawings.
- Builder to re-peg property to confirm exact boundary location prior to construction.
- Building setout to be confirmed by builder prior to any site excavation.
- Builder to advise designer of any deviation from the information on this plan prior to commencement of work.
- All construction and details are to be in accordance with the latest Australian Standards & Building Code of Australia.
- All plumbing and drainage to be constructed in accordance with WAWA requirements. Rainwater down pipe locations shown diagrammatically only on plan, roof plumber to locate to his own discretion.
- All electrical and gas work to be constructed in accordance with Synergy and Alinta Gas requirements.
- Do not scale from drawings.
- Any discrepancies to be brought to the attention of the designer and resolved prior to commencement of any work.
- All soil/level sizes and locations to comply with local authority.
- A 30mm setback to concrete slab in all wet areas.
- No structural work to be carried out without relevant structural drawings.
- All flashings & membranes, waterproofing materials, adhesives and chemicals required to make the building waterproof & water tight. To be added and implemented into the construction whether it is shown or not. This includes allowance for drainage runoffs & general sloping and coating the flashing or outside areas to ensure that the system implemented will drain away to its intended destination. All flashing in cavities and walls to be built in with a minimum 2 course step flashing allowing for weepholes at a minimum of 2 metres centres. Exposed flashings are to be finished with an over flashing. Ensure adequate overlapping of flashings. Ensure that all wet walls and surfaces are waterproofed and/or damp proof treated pargeol bit coated and that all materials for the above to comply with the manufacturers specifications.
- Build two course step flashing to all external cavity walls with weepholes at every floor level. Flash above and over exterior to ensure that external wet walls and cavities have been finished to the outside of the house.
- Builder to use weep weepholes or similar product of the same standard of every 5th parapet. Weep weepholes to have 20mm projection from brickwork so that external render will finish flush with the weeps. Builder to ensure that weep weepholes have the mortar protector installed during construction. When all work is completed the mortar protector is to be replaced with the standard plastic vermin guard or spars annulet. Refer to manufacturers specifications for more detail. Weep weepholes are not to be concealed or obstructed by any external render or material of any sort.
- Ensure that all surfaces are prepared to manufacturers specifications prior to adding a secondary coat of render to finished surfaces.
- The builder to submit all amendments revisions and changes to the relevant councils & authorities & obtain their approval prior to commencement of any works on site.

Rev	Amendment	Drawn	Date	Rev	Amendment	Drawn	Date
A	PLANNING SUBMISSION	MT	22 APR 2014				

**DesignWise CONCEPTS**

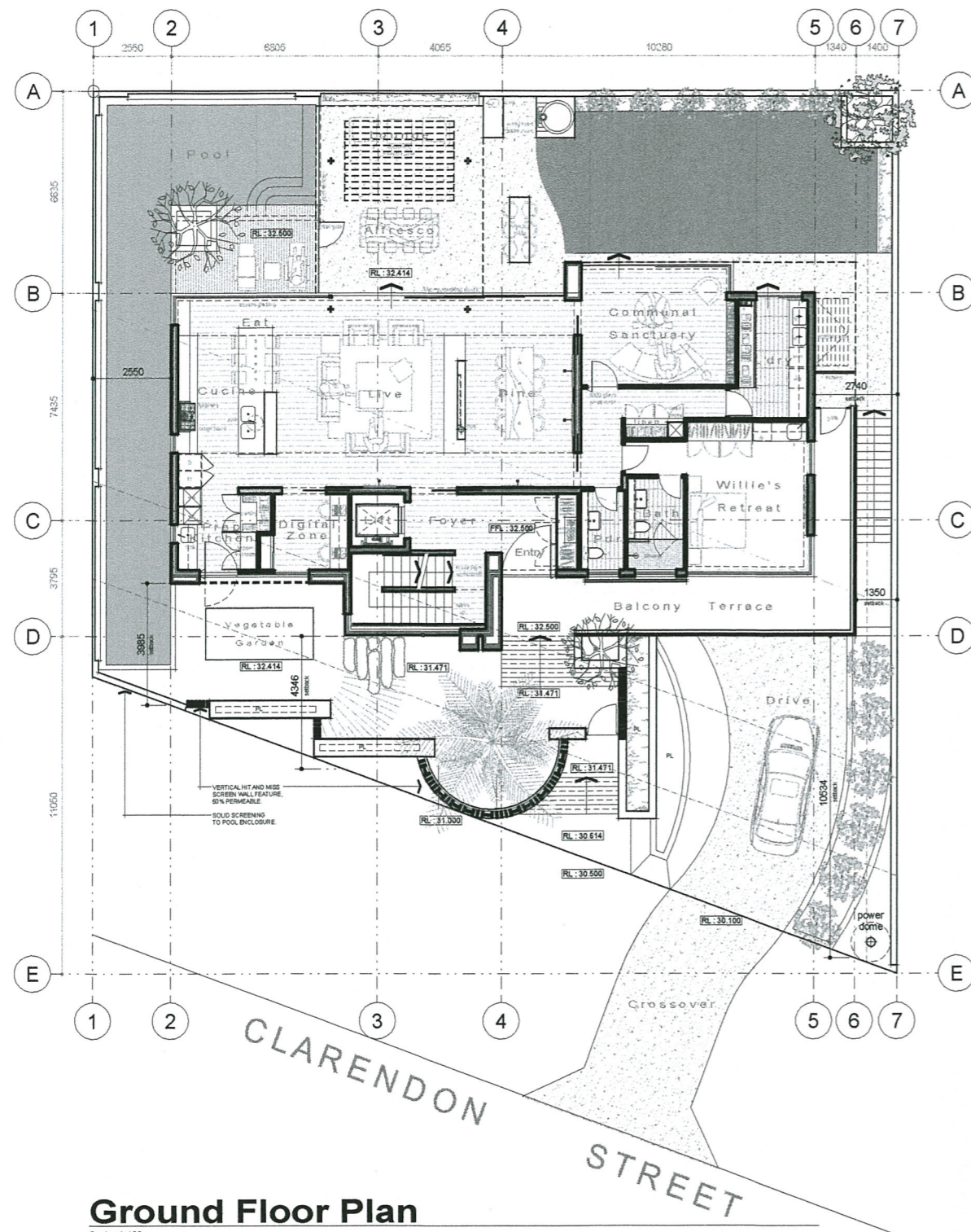
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 375 Hay Street Subiaco  
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 acc: 121 478 920

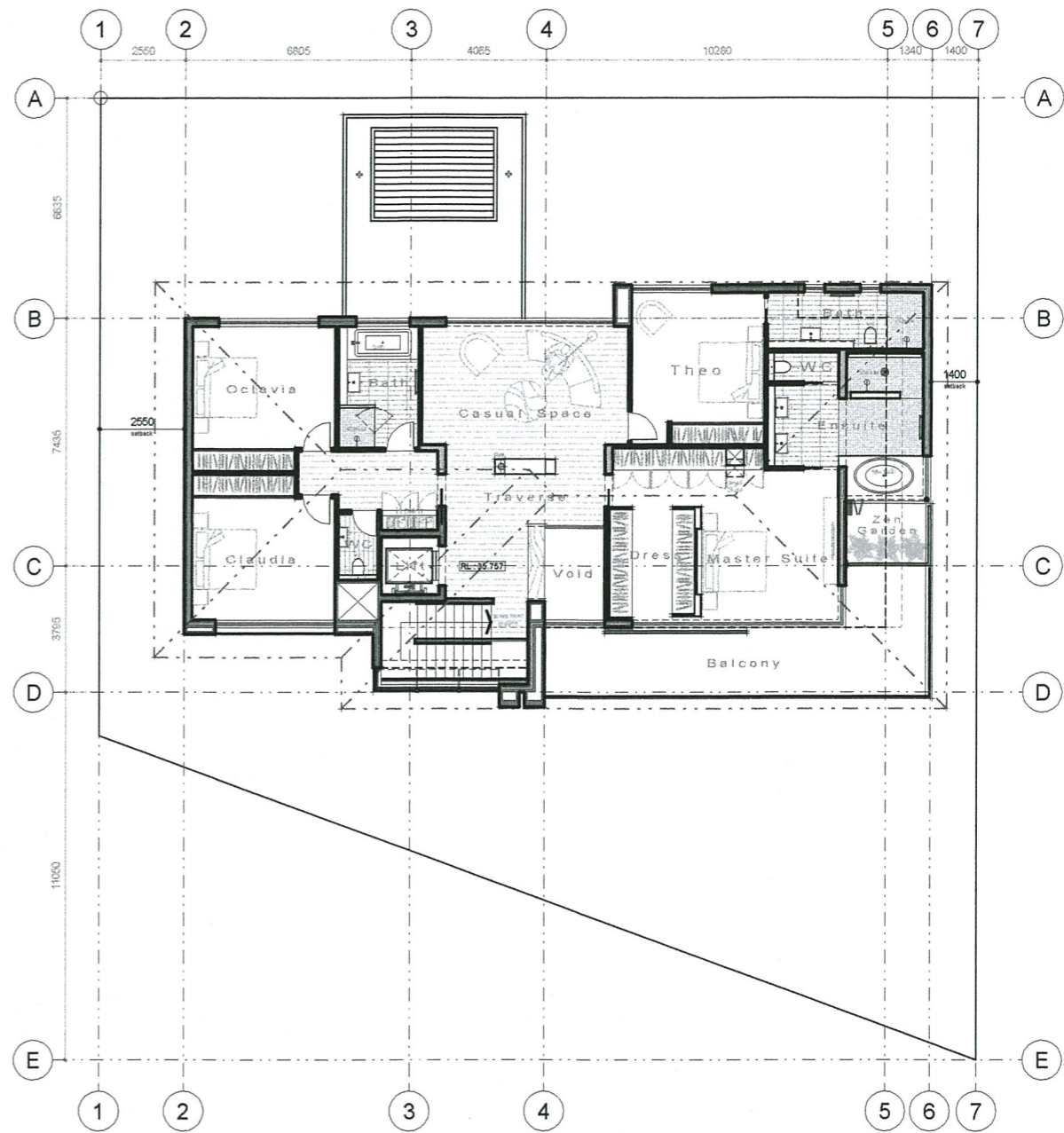
Client:	<b>GNECH RESIDENCE</b>
Project:	<b>Lot A CLARENDON STREET COTTESLOE</b>
Title:	<b>SITE COVERAGE</b>
Date:	22.04.14
Scale @ A1:	1:100
Drawn:	MT
Sheet no:	- OF -
Checked:	A





**Ground Floor Plan**

Scale 1:100



**Upper Floor Plan**

Scale 1:100

Undercroft Garage	- 210.43m <sup>2</sup>
Total Undercroft	- 210.43m <sup>2</sup>
Ground Living	- 212.05m <sup>2</sup>
Balcony / Terrace	- 00.00m <sup>2</sup>
Total Ground	- 212.05m <sup>2</sup>
Upper Living	- 219.03m <sup>2</sup>
Balcony	- 00.00m <sup>2</sup>
Total Upper	- 219.03m <sup>2</sup>
Total Living Area	- 431.08m <sup>2</sup>

TOWN OF COTTESLOE  
- 5 MAY 2014  
RECEIVED

GENERAL NOTES		Rev	Amendment	Drawn	Date	Rev	Amendment	Drawn	Date
1. All dimensions to be checked & verified by builder prior to commencement of work.	11. Any discrepancies to be brought to the attention of the designer and resolved prior to commencement of any work.	A	PLANNING SUBMISSION	MJT	13 MAR 2014				
2. Dimensions indicate sub-structure size prior to finish surface treatment.	12. All soil/wall sizes and locations to comply with local authority.	B	FRONT SCREEN WALL AMENDMENTS	RBD	02 MAY 2014				
3. These drawings are to be read in conjunction with Engineers drawings.	13. A 30mm sanddown to concrete slab in all wet areas.								
4. Builder to re-peg property to confirm exact boundary location prior to construction.	14. No structural work to be carried out without relevant structural drawings.								
5. Building setback to be confirmed by builder prior to any site excavations.	15. All flashings & membranes, waterproofing materials, additives and chemicals required to make the building waterproof & water tight. To be added and implemented into the construction whether it is shown or not. This includes allowance for drainage runoffs & general sloping and contouring the flashing or surface areas to ensure that the system implemented will drain away to its intended destination. All flashing in cavities and walls to be built in with a minimum 2 course step flashing allowing for weepholes at a minimum of 2 metre centres. Exposed flashings are to be trimmed with an over flashing. Ensure adequate overlapping of flashings. Ensure that all wet walls and surfaces are waterproofed and/or damp proof treated perig bit coated and that all materials for the above to comply with the manufacturer's specifications.								
6. Builder to advise designer of any deviation from the information on this plan prior to commencement of work.	16. Build two course step flashing to all external cavity walls with weephole at every floor level. Flash above and over exterior lower roofs to ensure that external wet walls and cavities have been flashed to the outside of the house.								
7. All construction and details are to be in accordance with the latest Australian Standards & Building Code of Australia.	17. Builder to use weep weepholes or similar product of the same standard at every 5th parapet. Weep weepholes to have 20mm projection from brickwork so that external render will finish flush with the weep. Builder is to ensure that weep weepholes have the mortar protector installed during construction. When all work is completed the mortar protector is to be replaced with the standard plastic weep guard or spacer. Refer to manufacturer's specifications for more detail. Weep weepholes are not to be concealed or obstructed by any external render or material of any sort.								
8. All plumbing and drainage to be constructed in accordance with WWA requirements. Diameter down pipe locations shown diagrammatically only on plan, roof plumber to locate to his own discretion.	18. Ensure that all surfaces are prepared to manufacturer's specifications prior to adding a secondary coat or layer to finished surfaces.								
9. All electrical and gas work to be constructed in accordance with Synergy and Alinta Gas requirements.	19. The builder to submit all amendments/ revisions and changes to the relevant councils & authorities & obtain their approval prior to commencement of any works on site.								
10. Do not scale from drawings.									

**DW**  
DesignWise  
CONCEPTS

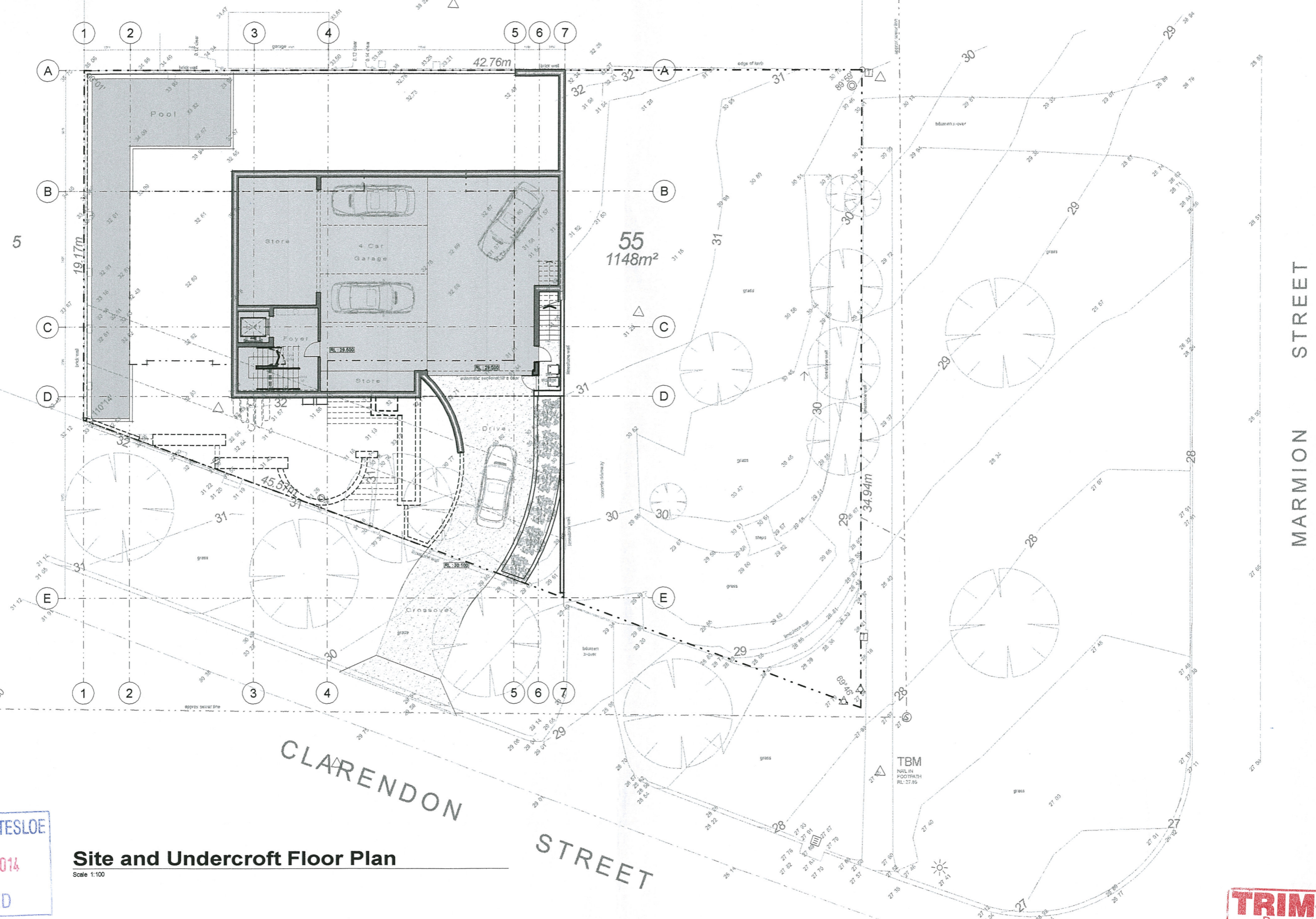
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Client:	<b>GNECH RESIDENCE</b>
Project:	Lot A CLARENDON STREET COTTESLOE
Title:	<b>GROUND and UPPER FLOOR PLANS</b>
Date:	07.02.14
Drawn:	MT
Checked:	
Scale @ A1:	1:100
Sheet no:	03 OF 08
Rev:	B





Undercroft Garage	- 210.42m <sup>2</sup>
Total Undercroft	- 210.42m <sup>2</sup>
Ground Living	- 212.05m <sup>2</sup>
Balcony / Terrace	- 00.00m <sup>2</sup>
Total Ground	- 212.05m <sup>2</sup>
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Total Upper	- 219.03m <sup>2</sup>
Total Living Area	- 431.08m <sup>2</sup>

**TOWN OF COTTESLOE**  
- 5 MAY 2014  
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**Site and Undercroft Floor Plan**  
Scale 1:100

**TRIMMED**  
Document Number  
D14/10214

GENERAL NOTES		Rev	Amendment	Drawn	Date	Rev	Amendment	Drawn	Date
1. All dimensions to be checked & verified by builder prior to commencement of work.	11. Any discrepancies to be brought to the attention of the designer and resolved prior to commencement of any work.	A	PLANNING SUBMISSION	MJT	13 MAR 2014				
2. Dimensions indicate sub-structure size prior to finish surface treatment.	12. All soil/water levels and locations to comply with local authority.	B	FRONT SCREEN WALL AMENDMENTS	RBD	02 MAY 2014				
3. These drawings are to be read in conjunction with Engineers drawings.	13. A 30mm setback to concrete slab in all wet areas.								
4. Builder to re-peg property to confirm exact boundary location prior to construction.	14. No structural work to be carried out without relevant structural drawings.								
5. Building setback to be confirmed by builder prior to any site excavations.	15. All flashings & membranes, waterproofing materials, additives and chemicals required to make the building waterproof & water tight. To be added and implemented into the construction whether it is shown or not. This includes allowance for drainage runoffs & general sloping and contouring the flashing or surface areas to ensure that the system implemented will drain away to its intended destination. All flashing in cavities and walls to be built in with a minimum 2 course slip flashing allowing for weepholes at a minimum of 2 metre centres. Exposed flashings are to be trimmed with an over flashing. Ensure adequate over-lapping of flashings. Ensure that all wet walls and surfaces are waterproofed and/or damp proof treated parged bit coated and that all materials for the above to comply with the manufacturers specifications.								
6. Builder to advise designer of any deviation from the information on this plan prior to commencement of work.	16. Build two course slip flashing to all external cavity walls with weephole at every floor level. Flash above and over exterior lower roofs to ensure that external wet walls and cavities have been flashed to the outside of the house.								
7. All construction and details are to be in accordance with the latest Australian Standards & Building Code of Australia.	17. Builder to use weepa weepholes or similar product of the same standard at every 5th purlin. Weepa weepholes to have 30mm projection from brickwork so that external render will finish flush with the weepa. Builder is to ensure that weepa weepholes have the mortar protector installed during construction. When all work is completed the mortar protector is to be replaced with the standard plastic weepa guard or spacer. Refer to manufacturers specifications for more detail. Weepa weepholes are not to be concealed or obstructed by any external render or material of any sort.								
8. All plumbing and drainage to be constructed in accordance with WWAHA requirements. Rainwater down pipe locations shown diagrammatically only on plan, roof plumber to locate to his own discretion.	18. Ensure that all surfaces are prepared to manufacturers specifications prior to adding a secondary coat of layer to finished surfaces.								
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**DW**  
DesignWise  
CONCEPTS

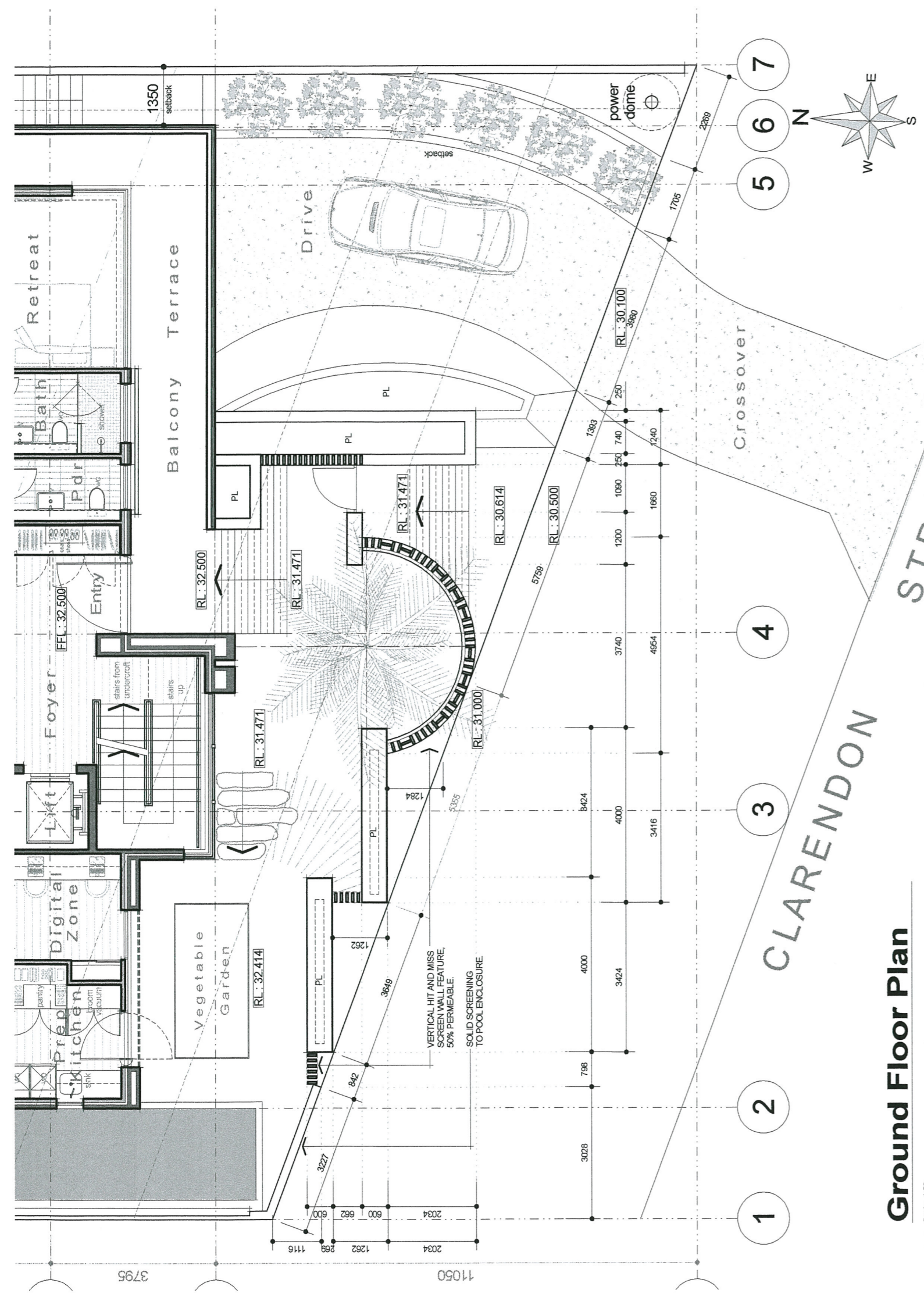
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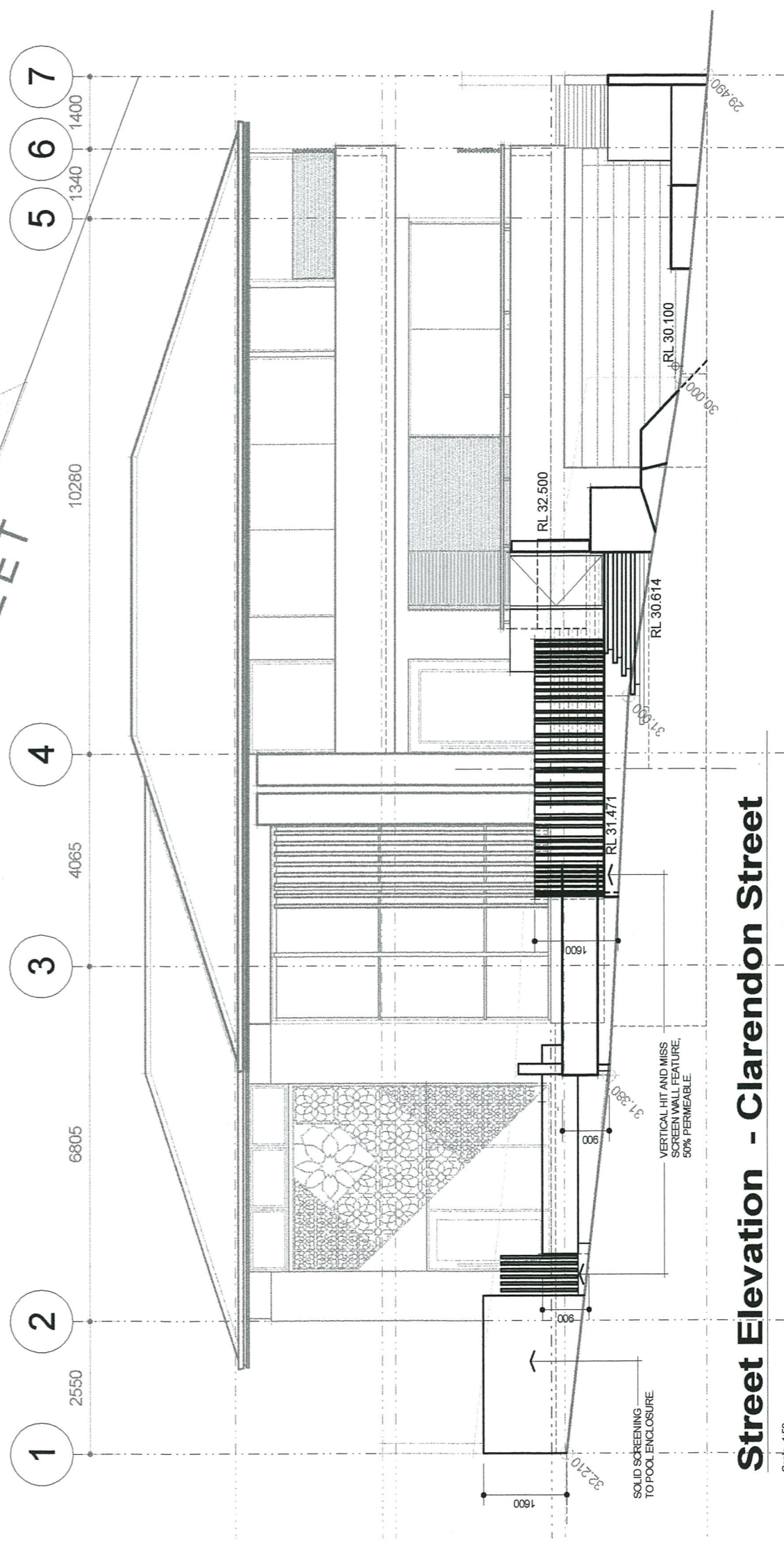
Client:	<b>GNECH RESIDENCE</b>
Project:	Lot A CLARENDON STREET COTTESLOE
Title:	<b>SITE and UNDERCROFT FLOOR PLANS</b>
Date:	07.02.14
Drawn:	MT
Scale @ A1:	1:100
Sheet no:	02 OF 08
Checked:	B





### Ground Floor Plan

Scale 1:50



### Street Elevation - Clarendon Street

Scale 1:50

TOWN OF COTTESLOE  
- 5 MAY 2014

#### GENERAL NOTES

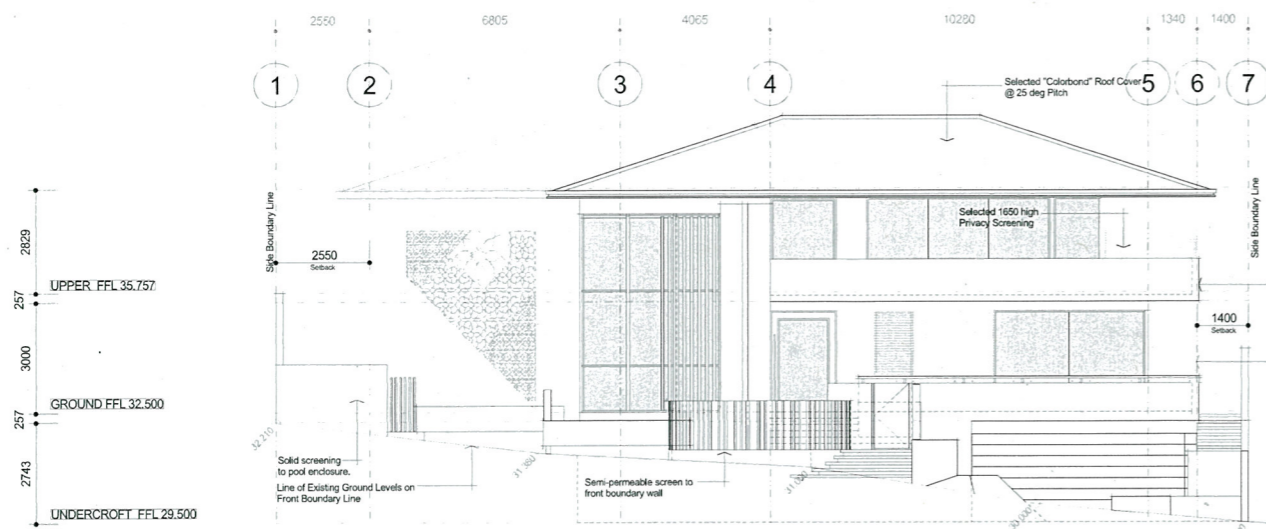
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2. All dimensions are indicated in millimetres unless otherwise stated.
3. All dimensions are indicated in millimetres unless otherwise stated.
4. All dimensions are indicated in millimetres unless otherwise stated.
5. All dimensions are indicated in millimetres unless otherwise stated.
6. All dimensions are indicated in millimetres unless otherwise stated.
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8. All dimensions are indicated in millimetres unless otherwise stated.
9. All dimensions are indicated in millimetres unless otherwise stated.
10. All dimensions are indicated in millimetres unless otherwise stated.

Rev.	Description	Date	By	Appr.
1	ISSUED FOR PERMIT	11 MAR 2014	MT	MT
2	PERMIT EXPIRES	12 MAR 2014	MT	MT

Client	GNECH RESIDENCE
Project	Lot A CLARENDON STREET COTTESLOE
File	FRONT STREET ELEVATION
Date	07/02/14
Scale	1:50
Sheet No.	1/50
Checked	MT
Drawn	MT

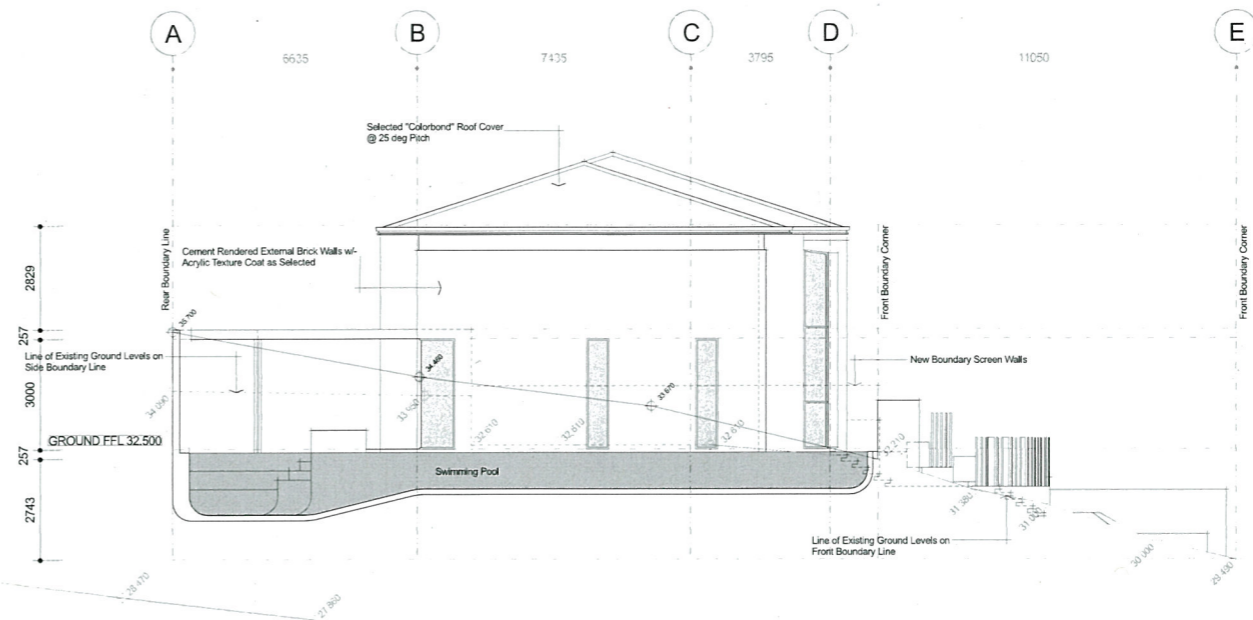
DesignMise CONCEPTS





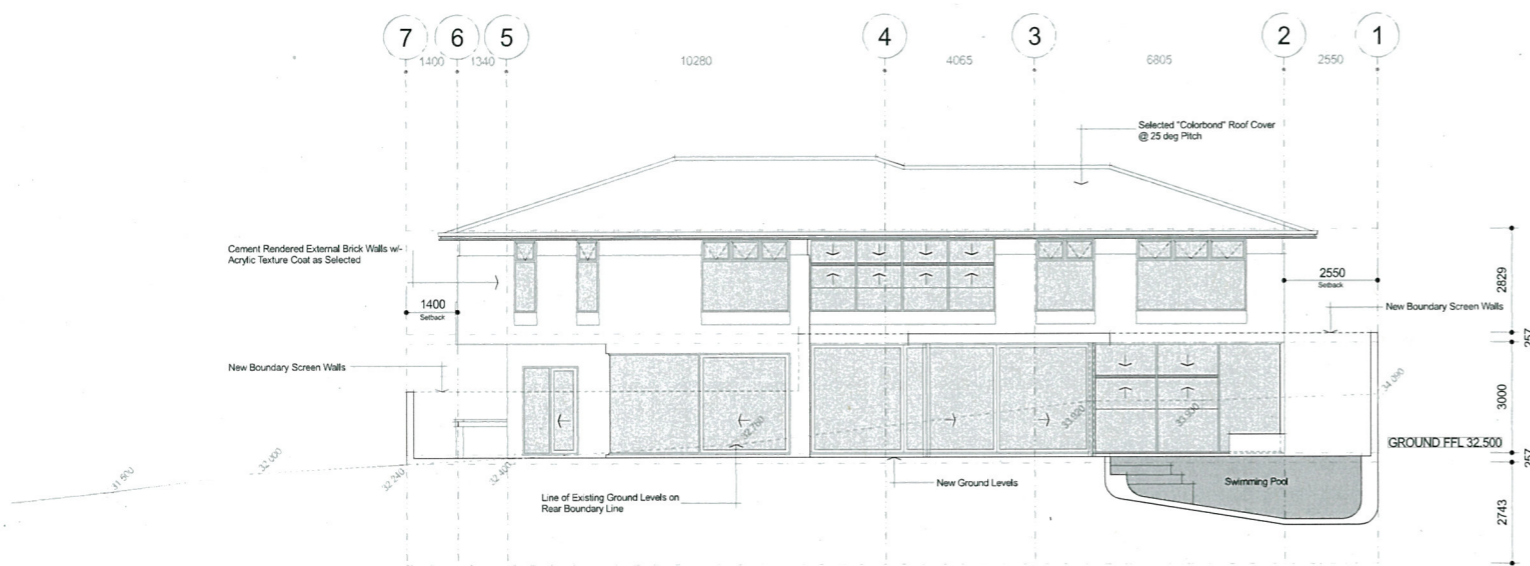
**Front Elevation - Clarendon Street**

Scale 1:100



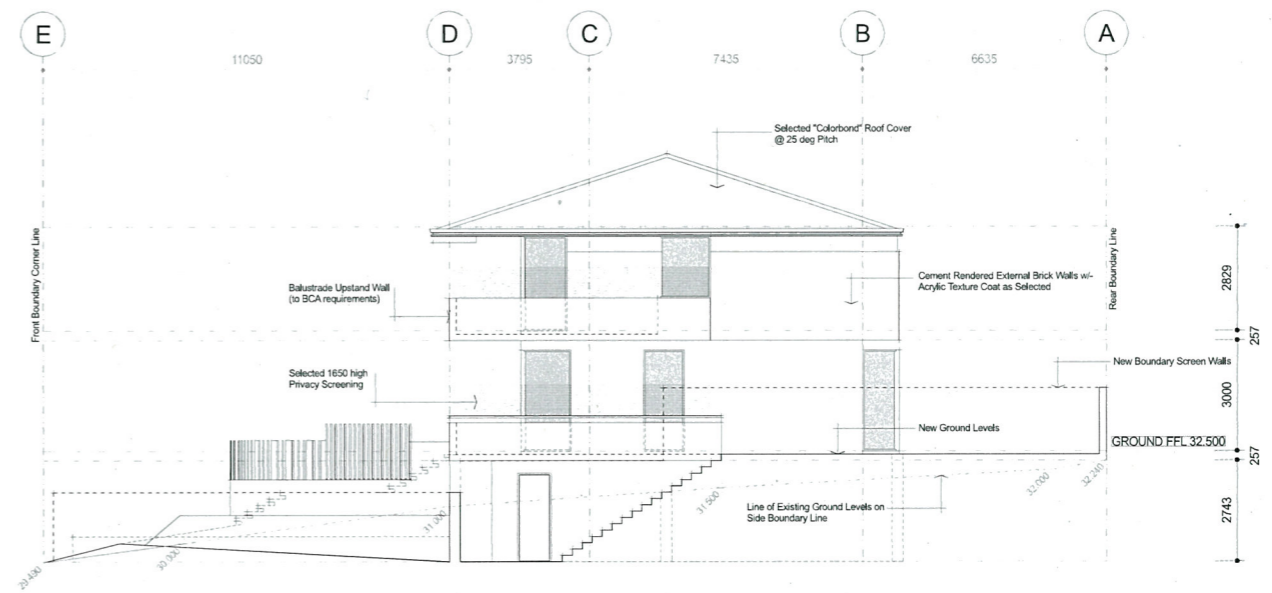
**Side Elevation - West**

Scale 1:100



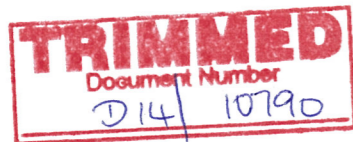
**Rear Elevation - North**

Scale 1:100



**Side Elevation - East**

Scale 1:100



GENERAL NOTES			Rev.	Amendment:	Drawn:	Date:	Rev.	Amendment:	Drawn:	Date:
1. All dimensions to be checked & verified by builder prior to commencement of work.	11. Any discrepancies to be brought to the attention of the designer and resolved prior to commencement of any work.	16. Built two course step flashing to all external cavity walls with weepholes at every floor level. Flash above and over exterior lower roofs to ensure that external wet walls and cavities have been flashed to the outside of the house.	A	PLANNING SUBMISSION	MLT	13 MAR 2014				
2. Dimensions indicate sub-structure size prior to finish surface treatment.	12. All spigot sizes and locations to comply with local authority.	17. Builder to use weeps weepholes or similar product of the same standard at every 5th purpend. Weeps weepholes to have 20mm projection from brickwork so that external render will finish flush with the weeps. Builder is to ensure that weeps weepholes have the mortar protector installed during construction. When all work is completed the mortar protector is to be replaced with the standard plastic weep guard or spigot arrester. Refer to manufacturers specifications for more detail. Weeps weepholes are not to be concealed or obstructed by any external render or material of any sort.	B	FRONT SCREEN WALL AMENDMENTS.	RBD	02 MAY 2014				
3. These drawings are to be read in conjunction with Engineers drawings.	13. A 30mm weldown to concrete slab in all wet areas.	18. Ensure that all surfaces are prepared to manufacturers specifications prior to adding a secondary coat or layer to finished surfaces.								
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6. Builder to advise designer of any deviation from the information on this plan prior to commencement of work.										
7. All construction and details are to be in accordance with the latest Australian Standards & Building Code of Australia.										
8. All plumbing and drainage to be constructed in accordance with WAWA requirements. Rainwater down pipe locations shown diagrammatically only on plan. roof plumber to locate to his own discretion.										
9. All electrical and gas work to be constructed in accordance with Synergy and Airta Gas requirements.										
10. Do not scale from drawings.										



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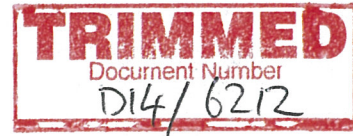
Client:	<b>GNECH RESIDENCE</b>		
Project:	Lot A CLARENDON STREET COTTESLOE		
Title:	ELEVATIONS		
Date:	07.02.14	Drawn:	MT
Scale @ A1:	1:100	Sheet no:	04 OF 08
		Checked:	B



March 11<sup>th</sup>, 2014



Planning Dept  
Cottesloe City Council  
PO Box 606  
COTTESLOE WA 6911



ATT: SENIOR PLANNING OFFICER

SUBJECT: **LOT A CLAREDON STREET, COTTESLOE**

With regard to our submission for planning consideration, please find a brief summary of the intent and our request for dispensation on some variation to Council policy and R-Codes on the development of the above new domestic residence.

- The intent of the development embraces a philosophy to create an individual residence for a family of five, that is sympathetic to the immediate and surrounding locale and realizes and embellishes the full potential of the site.  
The proposal is consistent with the type of development to be expected in the area and one that enhances and adds value to the existing streetscape.
- We seek dispensation for a reduced front setback, from a minimum of 6 metres to an average of 6 metres. If we consider the attached aerial view diagram, it can be seen that all existing houses are setback square or 90 degrees to the parallel northern boundaries. The exaggerated angle of the street boundary therefore, is sympathetic to a reduced minimum setback, promoting a large area of relief to the south eastern corner and limiting the impact of bulk and scale in general.

In we refer to the cast shadow diagram attached, the orientation of the site also negates any impact of overshadowing to the adjoining property owners.

In consideration of the site footprint diagram attached, it can be reasoned that our proposed setback is consistent with the general eclectic rhythm of building development along Clarendon Street.

- We also seek a variation to a section of overheight wall that addresses the eastern boundary. In consideration of the dynamic nature of the site and its general topography, we contravene our wall height requirement along the eastern side.  
Our floor level has been developed in order to limit the large amount of retaining required to the north western corner and also balance out any cut and fill.

In consideration of our street elevation diagram, we feel our proposal sits in well with the topography of Clarendon Street and is within keeping of the general bulk and scale to be expected in the immediate and neighboring area.

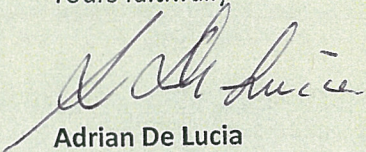


Again, this variation will have no impact of overshadowing to the adjoining Eastern property. We have approached the property owner of Lot B Clarendon Street, who is satisfied that our proposal will not have a negative impact on his amenity and is happy to sign off on the attached documentation.

Our concept development has been carefully considered to embrace all aspects of the client brief, orientation and natural topography of the site and the surrounding locality. We feel our proposal is considerate and sits within the parameters of existing development and new homes currently under construction.

Should you wish to discuss this further or require more clarification, please do not hesitate to contact this office.

Yours faithfully



**Adrian De Lucia**  
Managing Director