



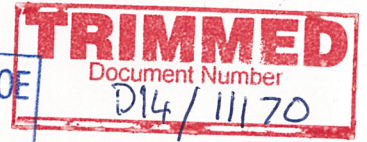
238-240 Marine Parade

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Scale 1:925

Tuesday, 10 June
2014





Our Ref: 714-416

15 May 2014

Chief Executive Officer
Town of Cottesloe
PO Box 606
COTTESLOE WA 6911



TOWN PLANNING
URBAN DESIGN AND HERITAGE

Attention: Mr Andrew Jackson – Manager Development Services

Dear Andrew

DEVELOPMENT APPLICATION: 238-240 (LOTS 4 & 5) MARINE PARADE, COTTESLOE – AMENDED PLANS

Further to our recent discussions, TPG Town Planning, Urban Design & Heritage (TPG) on behalf of Mr Stephen Tobin (landowner) and Hartree & Associates Architects we wish to submit amended plans for the development of the above property. The amended plans since those last submitted in January 2014, include the partial removal of the basement, the removal of the photovoltaic cells and supporting structure, retaining the conversion of the void to a store room, amending the front fence to be fully compliant and providing the details of the retaining and any raised gardens beds.

We have also simplified the plans significantly so that they are not technical working drawings and it is really clear, particularly for advertising, as to what the proposed building is, what the changes are, what the setbacks are, how it relates to what could be permitted and how it relates to the previous approval.

It is now clearly evident that the building represents a relatively small house in a garden setting with setbacks way in excess of those required, and over 10m to both neighbours and the rear and over 7m to the front.

It is still really important to note that the Town of Cottesloe Council issued planning approval for the development of a two storey plus basement residence on Lots 4 and 5 at its meeting of the 22 June 2009, and that this development was substantially commenced with demolition, completion of bulk earthworks and the construction of perimeter diaphragm retaining walls to the basement level garage having all been completed. Therefore we believe substantial commencement has been locked in so that this Council approval is still valid.

Since commencement of the previous approval, the owner put development on hold and proceeded to purchase adjoining properties including Lots 2, 6, 800 and 801. These lots, with the exception of Lot 2, will ultimately be amalgamated as part of redevelopment of the site, forming a much larger site and significantly improving the amenity for neighbours, particularly those on Margaret Street who will significantly benefit from increased ocean views from the removal of the other dwellings, particularly the existing dwelling on Margaret Street. As can be seen on the revised plans, a significantly larger fully compliant building could be developed on this site with far greater bulk and scale and amenity issues than the current proposal.

It is also important to note that the building is largely consistent with the building height, bulk and scale as that previously approved with the majority of amendments from that approved being cosmetic alterations and refinements.

PERTH OFFICE

Based on the amended plans, there remains only two issues which we are seeking Council's technical discretion and this is in relation to the number of storeys and building height specified by 5.1.1 of the Scheme.

Number of Storeys

Clause 5.1.1(a) of the Town of Cottesloe Town Planning Scheme No. 2 (Scheme) states:

“Council's general policy for development within the district favours low rise development of no more than 2 storeys to maintain privacy, views and general amenity notwithstanding that Council may consider the circumstances and merits of each case in terms of the amenity and development control provisions of this Scheme. In exercising height control policies Council will not regard as a storey undercroft space designed and used for a lift shaft, stairway, meter room, bathroom, shower room, laundry, water closet, other sanitary compartments, cellar, corridor, hallway, lobby, the parking of vehicles or any storeroom without windows or any workshop appurtenant to a car parking area where that space is not higher than 1 metre above the footpath level measured at the centre of the site along the boundary to which the space has frontage or where that space is below the natural ground level measured at the centre of the site as determined by Council.”

The previous approval provided for a larger basement and car hoist which raised into a void at the rear of the garage, however the hoist is now no longer required. Accordingly the plans subject of this application propose the partially fill in the already constructed basement and in place of the void provide a storeroom, as this was deemed the most sensible use of the space. Whilst this conversion results in a portion of the lower ground floor which may be 1 metre above the level of the footpath on Marine Parade, the floor is actually below the former level of the site at that point given the significantly higher natural ground level that existed at that point.

It is considered also important to note that the level of the floor above is well below the level of the footpath on Margaret Street to which the property will have frontage (as a result of amalgamation of the lots) and still presents as a two storey house to Margaret Street as advocated by Clause 5.1.1(a). As this portion of the development is at the rear this is considered the most appropriate street to take as this is the level that the existing dwelling on Lot 801 would have used and is logical given the intent of the clause. The upper level is also setback some 19 metres from Marine Parade and over 11 metres from the front of the dwelling and therefore it plays a significantly diminished role in the streetscape (albeit there are clearly three and four storey buildings on either side).

It is also essential to note that 5.1.1 (a) specifically allows Council the discretion to approve a taller development having regard for the amenity of each case. Again, in this instance the amenity impacts on neighbours has substantially diminished as the adjoining lots have been purchased by the owner therefore substantially greater setbacks are now afforded to neighbours. Approval of this application in no way sets an undesirable precedent for the approval of over height buildings as it is considered that the individual merits of this case are very unique given the two street frontage, the previously approved bulk and scale and the sheer size of the site with its 10m+ setbacks to neighbours.

The proposed development is also considered to meet the requirements of Clause 5.1.6(P6) of the Residential Design Codes (R-Codes) in that the reconfiguration does not alter the overall building height, and has no adverse impact on the amenity of adjoining properties or streetscape, or any impact on privacy, daylight or views associated with neighbouring properties.

The design of the dwelling responds to the topography of the site, which is lowest at the Marine Parade frontage and is significantly influenced by a portion of the site where the storeroom and basement parking is effectively 2 storeys underground. The cutting into the site ensures privacy, daylight and views associated with neighbouring properties are maximised and is in accordance with

Clause 5.3.7(C7.2) of the R-Codes in that the necessary earthworks maintain the overall 8.5 metre maximum height requirement stipulated under Clause 5.1.1(c) of the Scheme.

Given the above and that the development still presents as 2 storeys, especially to the nearest street, Margaret Street, and that the building height is still lower than the overall height permitted under the Scheme the development is considered worthy of approval under clause 5.1.1.

Building Height

Clause 5.1.1(c) of the Scheme describes the method for calculating building height as follows:

*“For the purpose of measuring 'storey' and hence 'building height', Council shall generally follow the following formula, **except in particular cases where natural ground forms indicate that a variation is warranted provided that the amenity of neighbouring areas is not unreasonably diminished.** The maximum building height shall be measured from the natural ground level at the centre of the site as determined by Council to the crown of the roof and shall be –*

Two Storey	- Wall Height: 6.0 metres - Roof Height: 8.5 metres
Subsequent Storeys	- Wall Height: 6.0 metres plus; 3.0 metres per storey - Roof Height: 8.5 metres plus; 3.0 metres per storey.”

With respect to the above, the site's topography ranges from 12.55 metres AHD (south-west) to 16.03 metres AHD (north-east corner), being significantly influenced by higher ground along the northern boundary and north-east corner of the site.

Under the previous application approved by Council at its meeting of 22 June 2009, a natural ground level of 13.8 metres AHD was determined as the datum for establishing building height, which was calculated based on the average of the four corners of the two lots (Lots 4 and 5). However as a result of acquisition by the landowner of the adjoining landholdings (Lots 6, 800 and 801), a revised natural ground level of 14.25 metres AHD has been determined as the datum.

With regard to the revised proposal, the only modification proposed which may be considered to add building height comprises the flat roof section over the staircase lobby, as the wall height to the vaulted roof and the overall roof heights remains the same as previously approved (albeit now 0.45m lower than now permitted). The height of this roof over the lobby is consistent with the vaulted roof over the bedroom, being a height of 22.30 metres AHD, or 8.05 metres above the new natural ground level and all below the 8.5m maximum. Accordingly the overall height of the development complies with the height requirement stipulated under Clause 5.1.1(c) of the Scheme.

With the wall height for the vaulted roof section where a wall height of 7.05m is proposed, this is insignificant being only 50mm above that permitted by the City for a wall if it had a concealed roof based on the R-Codes wall height definitions. The height of this wall is also unchanged from that previously approved by Council, when the natural ground level was determined to be only 13.8 metres not 14.25 metres as it was recognised that the slope of the land at the time should be taken into consideration, whereby the entire store was below actual ground level.

The stair/lobby also has a flat roof of 8.05m, which whilst is below the maximum roof height permitted, is still technically above the permitted wall height. Again Clause 5.1.1(c) specifically gives Council the discretion on this so it has regard to the natural topography of the land, which in this instance rises 12.73 to 15.99, a rise of 3.26m from Marine Parade to Margaret Street at the centre of the site. From Margaret Street therefore this wall and roof height appears as only 6.31 metres, and if it had a pitched roof element to it, would be well under height. The proposed flat roof & wall do not play a role in the Marine Parade streetscape as it is set back some 10.5 metres from the front building line, and represents a maximum of 12.5% of the length of the Marine Parade frontage. The roof also does not adversely impact on adjoining properties in terms of overshadowing, visual bulk or the

maintaining of views, due to the large setbacks maintained to neighbouring properties, which effectively create a 'home within a garden' setting.

The height of the proposed development is in harmony with the height of existing buildings in the area as shown on the streetscape plan, and is entirely consistent with the Marine Parade streetscape in the context of the residence immediately to the north and the block of units which exist immediately to the south, both of which present as 3 storeys and 4 storeys respectively when viewed from Marine Parade.

As previously stated, under Clause 5.1.1(c) of the Scheme, exceptions to the determination of building height can be considered "where natural ground forms indicate a variation is warranted provided that the amenity of the neighbouring areas is not unreasonably diminished". The impact of the variation is insignificant given the size of the site and in fact the development proposed with all the demolition works is a substantial improvement to the amenity of neighbours.

It is considered that the wall heights proposed warrant approval under clause 5.1.1 given:

1. The 3.26m fall of the land;
2. That the wall/flat roof is below the overall roof height permitted;
3. The wall is only 6.31 metres when viewed from Margaret Street (0.69m below that permitted for a wall to a concealed roof);
4. It is set in the middle of the site where it has no impact on neighbours whatsoever;
5. It's setback nearly 19 metres from Marine Parade and 11 metres from the front of the dwelling;
6. The proposal is very consistent with that previously approved by Council; and
7. Given the merits of the proposal and the unique circumstance of the site, approval will not set an undesirable precedent.

Conclusion

As stated previously, the design of the proposed development is essentially unchanged in terms of floorplan and structure to that previously approved by Council. The proposed modifications as justified above, will have no impact on the adjoining neighbours and represent an improvement in terms of amenity, solar access, overshadowing or views.

Responding to the natural topography of the site, the design of the development presents as 2 storeys (plus basement) when viewed from Marine Parade and 2 storey's from Margaret Street, which is in harmony with the existing streetscapes and consistent with Clause 5.1.2(d) of the Scheme which seeks the dispersal of building bulk into separate elements.

Given the building bulk is essentially the same as previously approved and the site is now significantly larger, the amenity impacts must be considered to be significantly reduced from that previously approved.

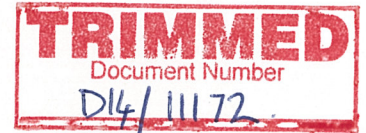
I trust the above submission will assist in a favourable determination of the application. Should you wish to discuss the above matters further or any aspect of the proposed development generally, please do not hesitate to contact the undersigned.

Yours sincerely

TPG TOWN PLANNING, URBAN DESIGN AND HERITAGE



David Read
Director



SUBSIDIARY DEVELOPMENT APPLICATION

**DESCRIPTION OF AMENDMENTS TO
PREVIOUSLY APPROVED DEVELOPMENT
AND WRITTEN JUSTIFICATION FOR
VARIATIONS TO TOWN PLANNING
SCHEME & R-CODES**

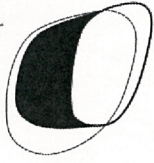
New Single Residential Development
No. 236 – 242 Marine Parade
Cottesloe, WA

May 2014

Owner:
Mr Stephen Tobin

Applicant:

David Hartree
HARTREE + ASSOCIATES
ARCHITECTS
ABN 48 079 085 339
Level 1,
34 Queen Street
PERTH, WA 6000
T: 9481 7119
M: 0413 741575
david@hartree.com.au



SUBSIDIARY DEVELOPMENT APPLICATION

No.236-242 Marine Parade Cottesloe WA

The following documents are included in this application;

- 2sets of A1 sized coloured drawings A0.01 – A1.03 (inclusive) detailing proposed amendments to the previous approval with revisions clouded in blue;
- 1set of A3 sized copies of all of the above drawings.

1.0 Site Information

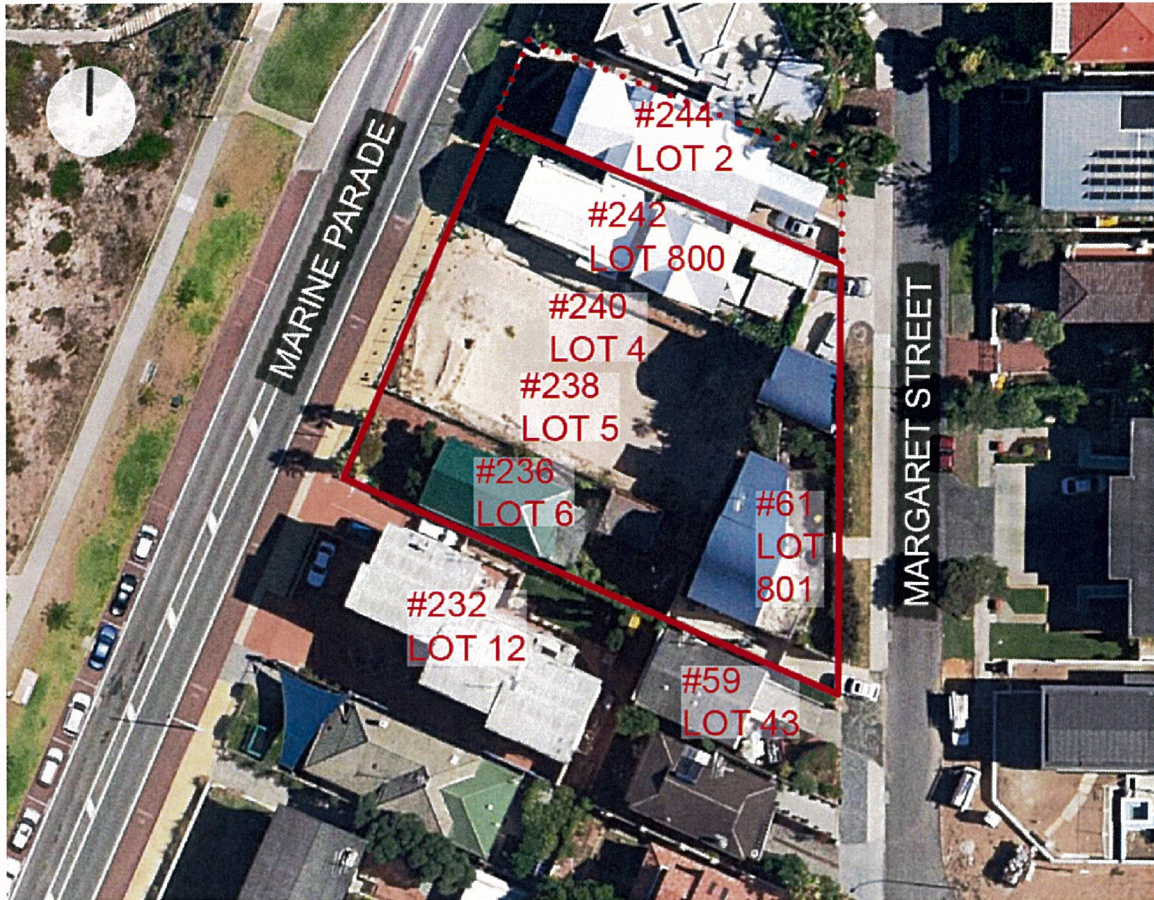
Site Details: Previous Development Approval (30 June 2009)

Area	738.48m ²
Zone	R20
Natural Ground Level Height Datum as an average of four corners of site.	13.80 AHD

Site Details: Amended DA as proposed

Area	1877m ²
Zone	R20
Natural Ground Level Height Datum as an average of four corners of site (as per image below).	14.25 AHD
Open space (proposed)	87%

Note: The proposed amendments conform to the NGL and heights of the previous DA (30 June 2009), except for an increase to the roof height over the stair void.

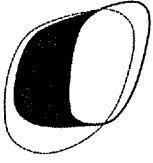


Site Precinct

2.0 Background

The previously approved home was designed for the centre Lots 4 & 5, Development Approval (DA) was granted 30 June 2009. Bulk earthworks and basement diaphragm walls were submitted to the Town of Cottesloe (ToC) for building permit. The project was substantially commenced with the forward works package completed to include bulk earthworks on Lots 4 & 5 and construction of ICW (diaphragm retaining walls) to form the perimeter walls of the basement level garage. Concurrently to initiate the amalgamation, the house on Lot 6 was demolished and the house on Lot 801 was disconnected from services.

Documentation drawings were later submitted and fees paid for building permit for construction of the home itself, however a contractor was never confirmed and the permit #6860 was not issued by ToC prior to construction being postponed with purchase of additional lots and subsequent development of the brief.



Since the previous DA and completion of the forward works package there have been a number of fundamental events that have resulted in the property owner, Steve Tobin, instructing H+AA to make cosmetic alterations to the original design as approved 30/06/09 and documented.

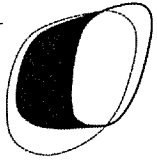
To assist with simplicity of assessment and attaining approval, the alterations preserve the original natural ground level of 13.80 AHD (as previously determined by ToC). Furthermore, setbacks and height of the amended building is to be generally consistent with the original approval and compliant with the planning framework.

3.0 The Scope

3.1 Steve originally owned Lots 4 & 5. He has purchased adjacent Lot 6 to the south, Lot 800 to the north and Lot 801 to the east. He has commenced amalgamation of these with Lots 4 & 5. In addition he has purchased Lot 02, #244 Marine Parade, however this property will not become part of the project or be amalgamated with the other Lots.

Improvements to lots surrounding Lot 4 & 5, will incorporate a new swimming pool on Lot 800 and landscaped and terraced gardens to Lot 6 and Lot 801. On the basis that these adjoining sites are being amalgamated to form 1 parcel of land, overshadowing, overlooking and side/rear setbacks are deemed compliant.

Client Brief: The original home is to remain principally unchanged in floorplan and structure, with cosmetic modifications to elevations increasing outlook from interiors to garden etc and relationship of built form to additional lots. The home is to sit within extensive terraced gardens, relocating the swimming pool from over the driveway to become a generously proportioned north facing resort style experience with vanishing edge pool, overflowing landscaping, appropriate furniture and shade. Given the swimming pool is being relocated, access from the original pool on upper ground to the first floor terrace via external staircase will not be required, this staircase is to be removed to open up northern aspect of the primary living spaces to look across the new pool and north-west up the coast.



Service access for gardener is to be achieved via existing vehicle ramp on south boundary of Lot 801 Margaret Street.

Collect water from rainwater runoff and recycle grey water, incorporate into underground tanks for use on the garden.

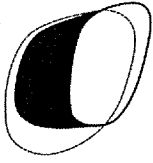
- 3.2** Steve has been living on Marine Parade for the last 18 months and developed a new respect for the extreme local weather conditions.

Client Brief: Durability of exterior materials/finishes and ongoing maintenance of equipment are critical issues living in this seaside location. Local colleagues report that painted external surfaces finishes require annual treatment, all exposed timber is to be deleted due to maintenance issues. All rendered and painted brickwork as previously approved will need to be changed to sealed stone for long term durability and low maintenance, with stone finishes contrasting against natural coloured metal cladding (Millennium tiles, image attached). Hardware to commercial bifold doors and elaborate louver shade systems cease up in the short term with salt spray and corrosion, windows and doors facing west are prone to leakage during winter storms, double glazing is mandatory, deep verandah's facing west provide shelter and solar control. Glazing to be double glazed thermally broken frames throughout, incorporating highest specification hardware and glazing available – incorporate "Skyframe" from Switzerland for the large format sliding doors and all windows where possible.

The "Vergola" shade structure on the west elevation has too many moving parts and componentry for this location and will need to be deleted in favour of a permanent simple fixed structure, no moving parts, cantilevered concrete with a deep overhang to protect west facing windows/doors.

- 3.3** Over the last 4 years there has been significant development of new homes in Cottesloe, many of the homes small and large have been influenced by the current aesthetic trend being - "stacked up boxes", it seems the design of the larger homes has become particularly predictable in aesthetics and materials.

Client Brief: The 2009 approved design for this project is similar in scale and aesthetics to many other very boxy linear looking homes recently constructed in Cottesloe, see residence cnr Warton and Marine Parade, residence cnr



Grant and Broome, residence cnr Broome and Pearse, residence cnr Ozone and Margaret - images attached in appendix.

We want to build a home that incorporates sustainable principles and will stand the test of time physically and portray unique built form aesthetics within a garden setting.

- 3.4** Concurrently Steve has travelled to Angkor Wat in Cambodia and following this experience developed a passion for the organic fluid forms expressed in the work of architect Zaha Hadid.

Client Brief: Break down the boxy aesthetics of the DA approved home, in particular the ceiling plane over the primary living spaces is to be reworked to introduce organic forms that can be enjoyed from the interior and observed from the street view of the home from below. Take inspiration from the combination of structure and organic forms seen at Angkor Wat, investigate also the work of Zaha Hadid, in particular the sweeping curved roof forms and sculpted edges, smooth surfaces contrasting against organic textures.

4.0 Proposed Residence Design Amendments

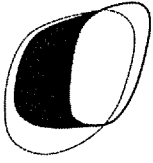
The amendments noted below (with rationale in brackets) refer to items identified and clouded in blue on Architectural Drawings A0.04 – A1.02 inclusive.

A1.00

1. New below ground rainwater harvest and recycled grey water storage tanks.(sustainable principles)
2. New cellar extension. (adjustment interior planning)
3. N/A
4. Remove water feature over driveway (maintenance) and create deep organic form openings within west wall of theatre. (aesthetics)
5. Create new stairs to access south garden from Terrace 1.(external access to garden)
6. Remove entry level water feature (maintenance)

A1.01

7. Rework glazing to study (northern light, improve views to garden and water feature on new lot).



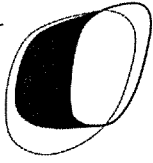
8. Silicon Corner Window, (improve views to northwest and over pool with vanishing edge, delete stairs to roof terrace and obsolete north facing privacy screen blocking views to northwest, poolside terrace on new Lot 800).
9. Delete Pool over driveway, (new generously proportioned pool and useful surrounding areas located on Lot 800).
10. New staircase from Terrace 01 to access south garden, rework south façade of building (break down boxy aesthetic of previous design) open up internal spaces to take in views of gardens. Feature Cladding to portal element to be millennium tiles (permanently coloured stainless steel tiles, no maintenance) See attached image showing the use of "Millenium" Tiles.
11. Remove Vergola Structure over living room sliding doors, (maintenance issues with Vergola moving parts on coast, replace with sweeping concrete structure to maintain overhang previously provided by the Vergola and introduce sensual concrete form to overhang and ceiling plane - fluid forms in response to the coastal context).
12. Silicon Corner to Master Bed (improve views over garden).
13. New windows to bathroom (improve views over garden).
14. Revise roof form to south façade (break down boxy aesthetic).
15. Revise bathroom planning.
16. Raise the height of the flat roof over the staircase void to same height as the vaulted roof over bedroom 1 (this roof now extends as a 1.0m eave over north and west side of the stair void to provide a solar protection hood over windows/doors) *The previously approved flat roof height was 8.048m above the average site level of RL 13.80m. The proposed new height of the flat roof is 8.05m above the new average site level of RL 14.25.*
Remove timber cladding from south wall of staircase internally and externally, in exchange for stone (low maintenance). Introduce new structure supporting photovoltaic array, generating energy and cantilevering to provide important shade over part of the roof terrace.

5.0 Element A – Boundary Walls

See Landscape Application.

5.1 Element B - Wall Locations and Setbacks

All the walls of the proposed home conform to the setback requirements under the R-Codes.



5.2 Element C – Building Height Requirements

Height controls of the previous DA approved home on #238-240 Marine Parade were determined from Natural Ground Level, which was based on an average height of the four corners of the two lots (13.80 AHD). Using the same method of establishing NGL, the newly amalgamated site has an average NGL of 14.25 AHD (average of 4 corners). As noted above, to assist with assessment we have maintained heights in accordance with previous DA (13.80 AHD), except for an increase for the flat roof over the stair lobby which is justified in 4.0 dot point 16 of this document.

Drawing sheet A0.02 demonstrates building heights and streetscape for previous DA and this subsidiary DA. Reviewing the streetscape of the subsidiary proposal – as a result of removing the Vergola awning over the pond at the upper ground level (originally at a height of 6.75m above NGL 13.80 AHD), and the replacement concrete awning being at a height of 5.7m (above NGL 13.80 AHD) – the height of the amended element is 1.05m lower.

The maximum permissible building envelope is shown on the drawings and confirm well within the envelope.

Drawing sheet A0.03 demonstrates that views towards the ocean from Margaret Street down each side of the home will be significant for properties on the east side of Margaret Street, the gardens within the amalgamated lots will be enjoyed visually by each of the adjacent properties.

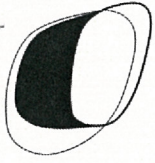
5.3 Element D - Adequate direct sun to buildings

The previous home at No. 236 Marine Parade has been demolished and landscaped gardens are proposed where the previous home was. Therefore there is no overshadowing of the southern adjacent lot No. 232 Marine Parade. This is demonstrated on drawing sheet A1.03.

Landscaped gardens are also proposed to replace the existing home at No.61 Margaret Street. This dramatically increases the direct sun light to the adjacent southern lot, a single home, at No. 59 Margaret Street.

5.4 Element E - Privacy

The proposed home conforms to the required privacy requirements as per the R-codes.



5.5 Element E - Vegetation protection/Landscaping

See Landscape Application.

New landscaping will be low water use with plant selection inspired by the characteristics and species of local coastal vegetation.

Views across and into the site from adjacent sites on Marine Parade and Margaret Street will be improved by generous proposed landscaped gardens.

We look forward to your support of the above and approval to proceed.

Yours sincerely,

David Hartree.



APPENDIX IMAGES



Image 01: Residence cnr Warton Street & Marine Parade, Cottesloe



Image 02: Residence cnr Broome & Grant Street, Cottesloe

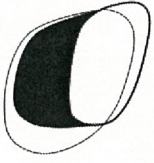


Image 03: Residence cnr Pearse & Broome Street, Cottesloe



Image 04: Residence cnr Ozone & Margaret Street, Cottesloe



Image 05: Millennium Tiles





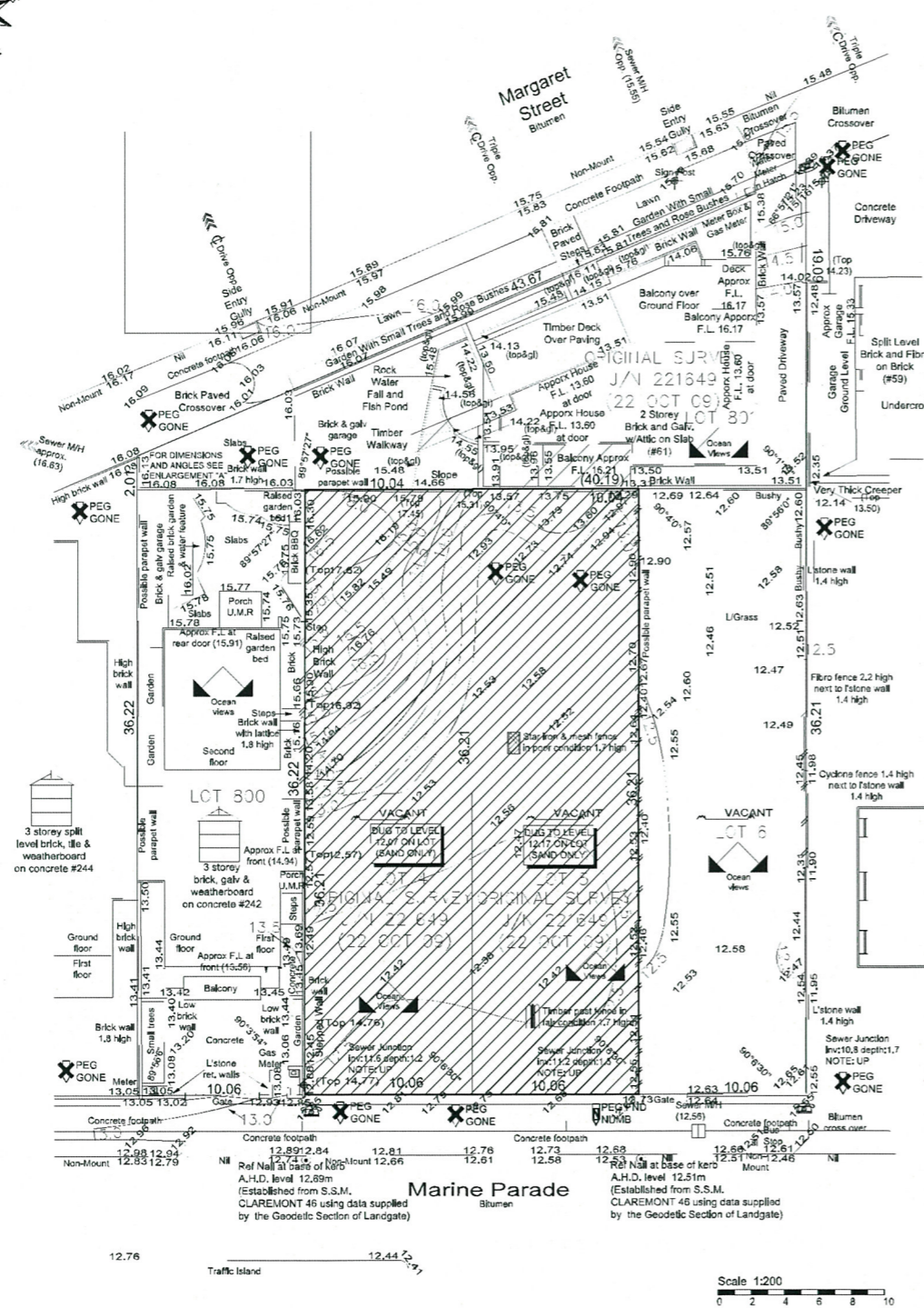
NOTE: All Sewer details plotted from information supplied by Water Corporation.
NOTE: CHECK SHIRE RE: AMALGAMATION BEWARE COULD DELAY BUILDING LICENSE (AMALGAMATION PROCESS APPROX. 3-4 MONTHS)
NOTE: BEWARE: ADVISE TRADES Off-Road Power Lines



NOTE: COTTAGE & ENGINEERING SURVEYS ACCEPT NO RESPONSIBILITY FOR ANY PHYSICAL ON SITE CHANGES TO THE PARCEL OR PORTION OF LAND SHOWN ON THIS SURVEY INCLUDING ANY ADJOINING NEIGHBOURS LEVELS AND FEATURES THAT HAVE OCCURRED AFTER THE DATE ON THIS SURVEY.

NOTE: INCOMPATIBLE FILE FORMATS MAY BE USED BY THESE SURVEYORS. CHECK DRAWING FOR ANY INCOMPATIBLE FILE FORMATS. CHECK TITLE FOR LANDMOUNTS, CONTAMINANTS, ETC.

NOTE: DUE TO LACK OF SURVEY MARKS/PEGS ALL BUILDING OFFSET DIMENSIONS & FEATURES ARE APPROX ONLY AND POSITIONED FROM EXISTING PEGS/FENCES AND WALLS WHICH MAY BE INACCURATE. ANY DIMENSIONS SHOWN ON THIS SURVEY INCLUDING ANY OF STRUCTURES REMAINING AFTER ANY DEMOLITION HAS TAKEN PLACE. BOUNDARIES MUST BE REPEGGED AND EXACT OFFSETS PROVIDED TO YOUR DESIGNER/ARCHITECT BEFORE ANY PLANS ARE PRODUCED AND BEFORE ANY WORK IS STARTED ON SITE.

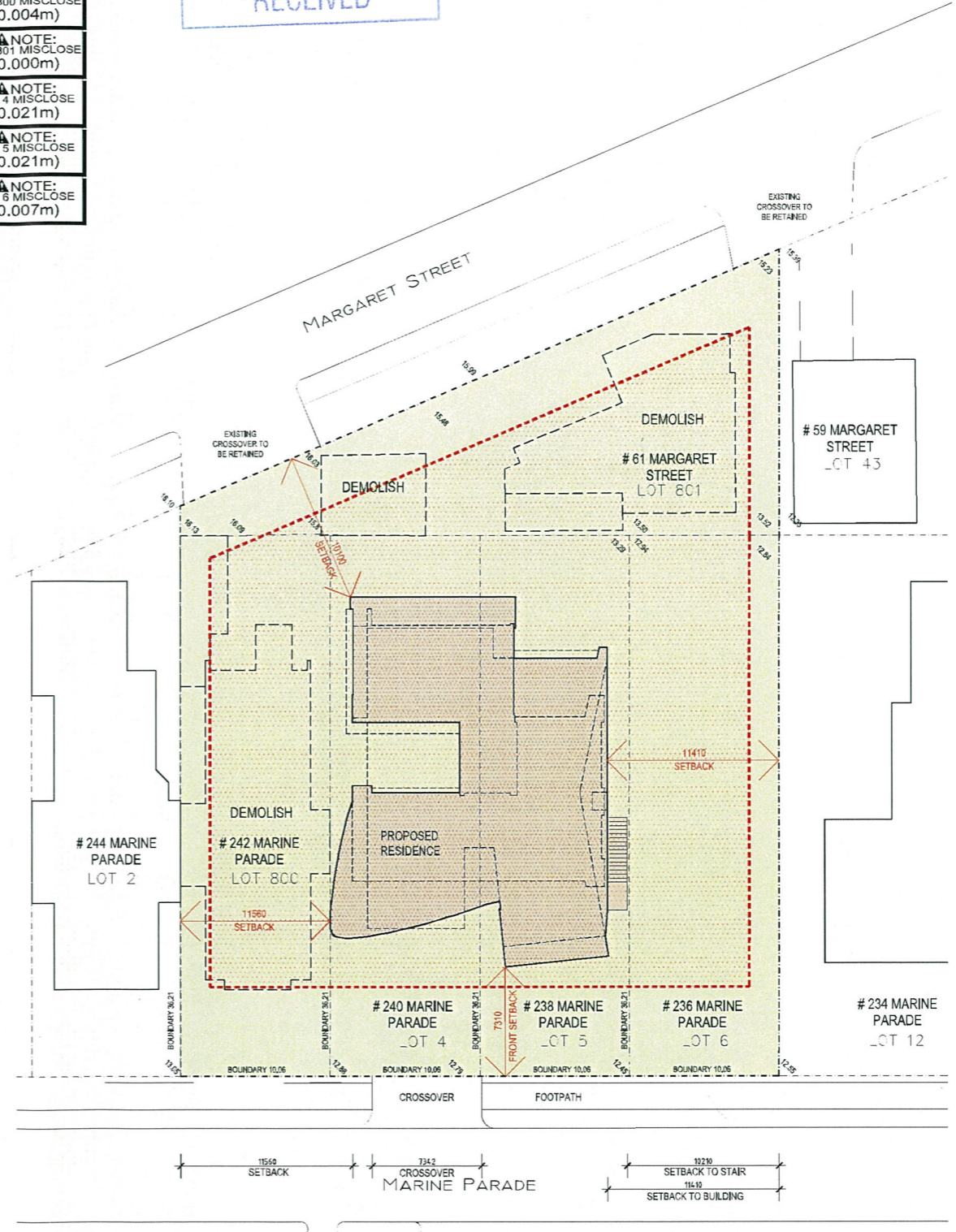


SOIL DESCRIPTION
 Sand
 Refer to Survey

NOTE: LOT 800 MISCLOSE (0.004m)
NOTE: LOT 801 MISCLOSE (0.000m)
NOTE: LOT 4 MISCLOSE (0.021m)
NOTE: LOT 5 MISCLOSE (0.021m)
NOTE: LOT 6 MISCLOSE (0.007m)

TOWN OF COTTESLOE
 19 MAY 2014
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CLIENT SIGN-OFF

Date	Checked By

INTERNAL CHECK

Date	Checked By

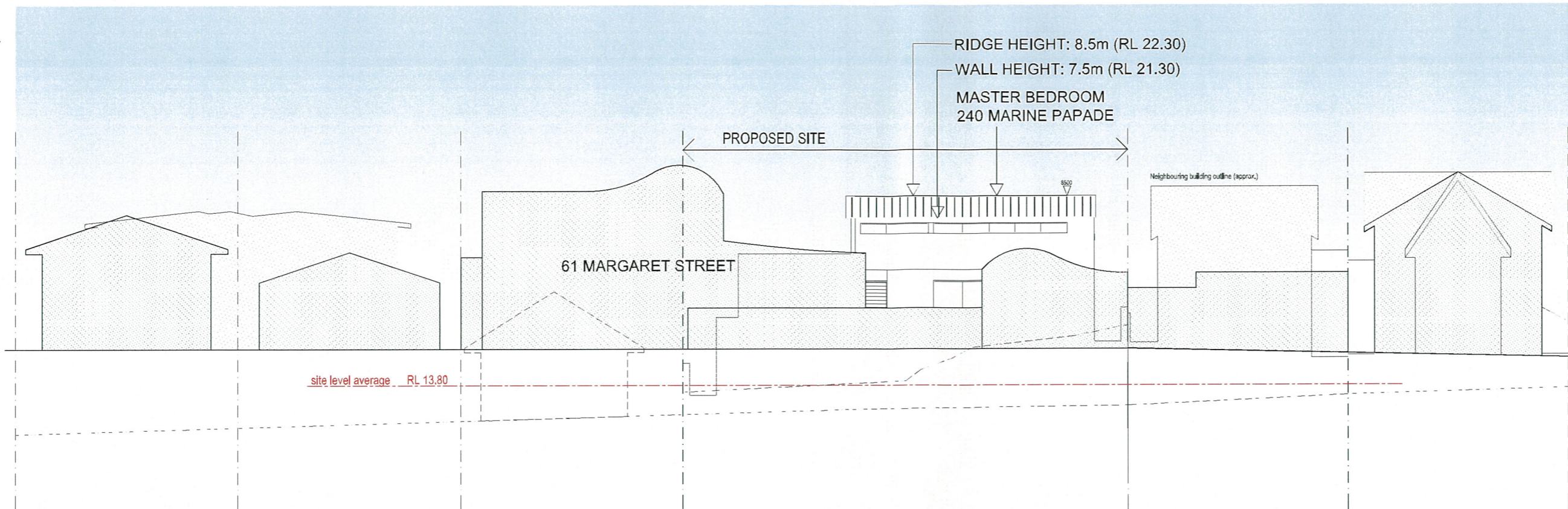
REVISIONS

Rev	Date	Notes

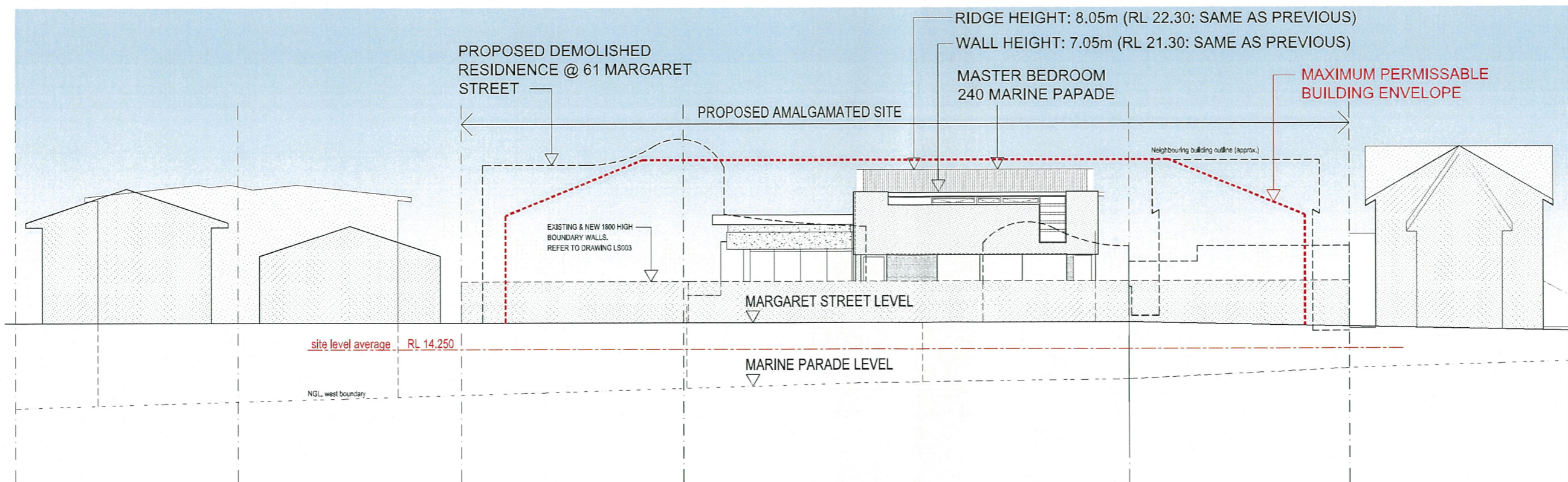
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 PLANNING

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REVISION
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MARGARET STREET STREETScape [PREVIOUSLY APPROVED]



MARGARET STREET STREETScape [PROPOSED]

TOWN OF COTTESLOE
19 MAY 2014
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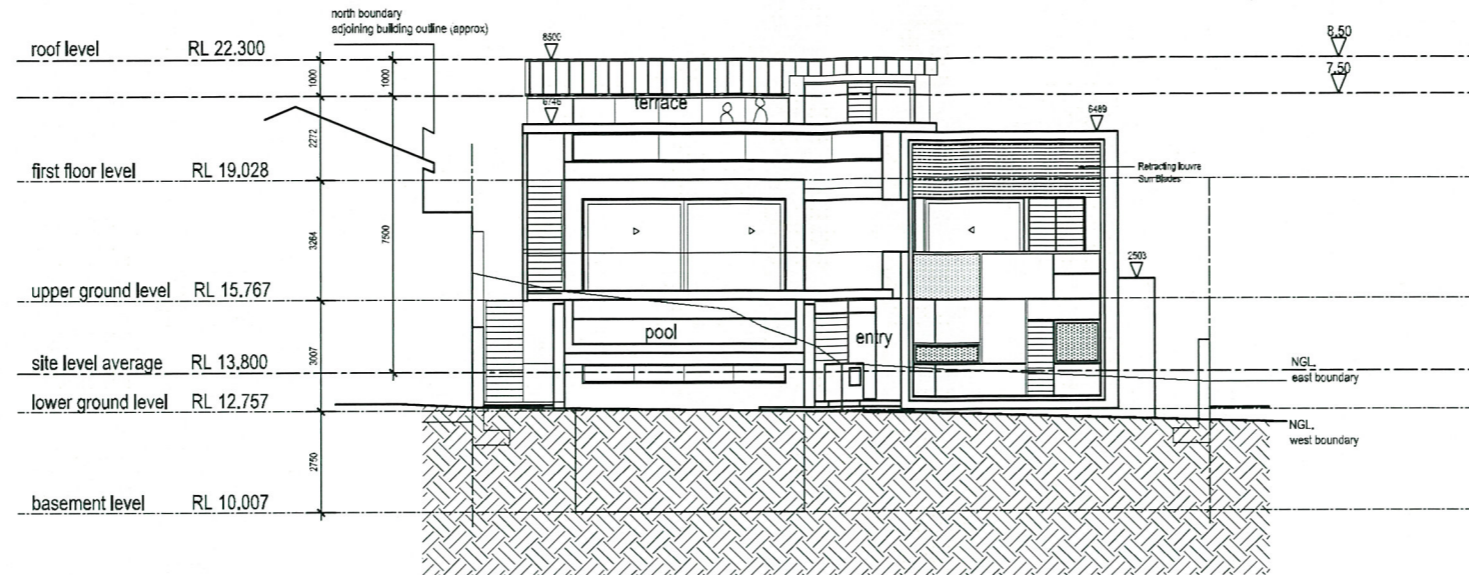
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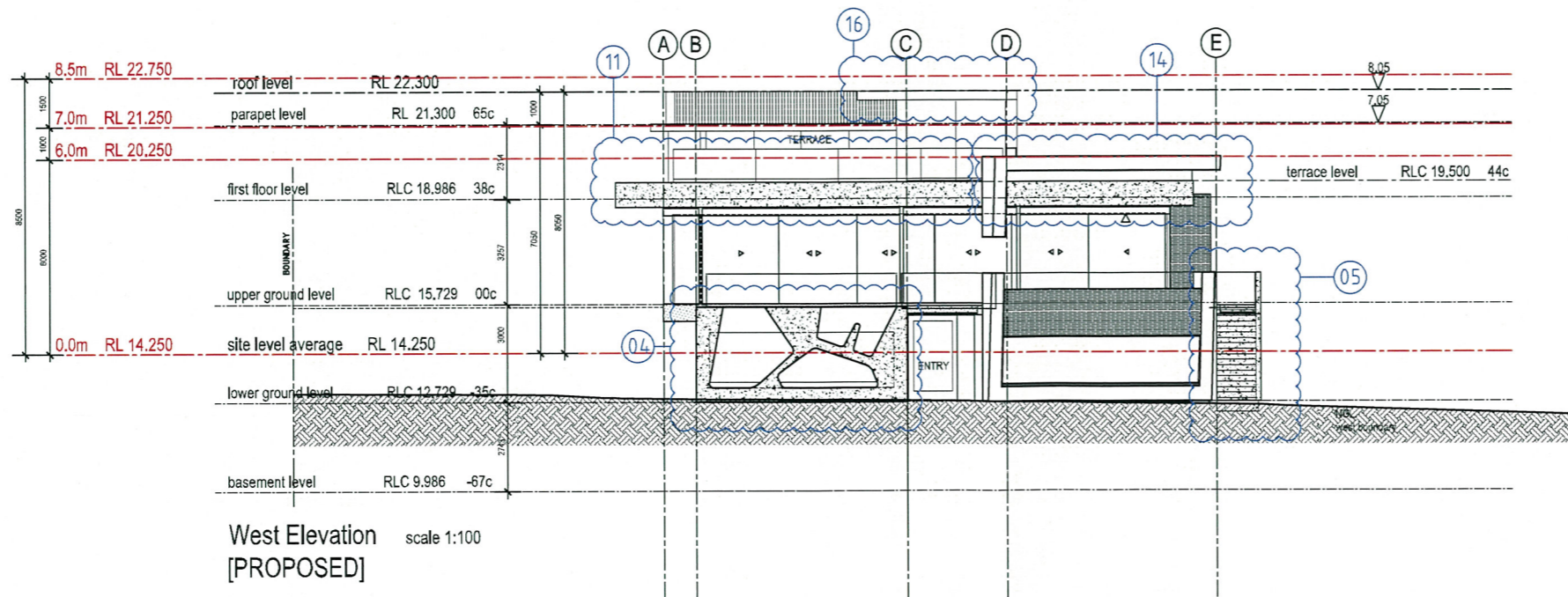
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Date _____ Checked By _____

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West Elevation scale 1:100
[PREVIOUSLY APPROVED]



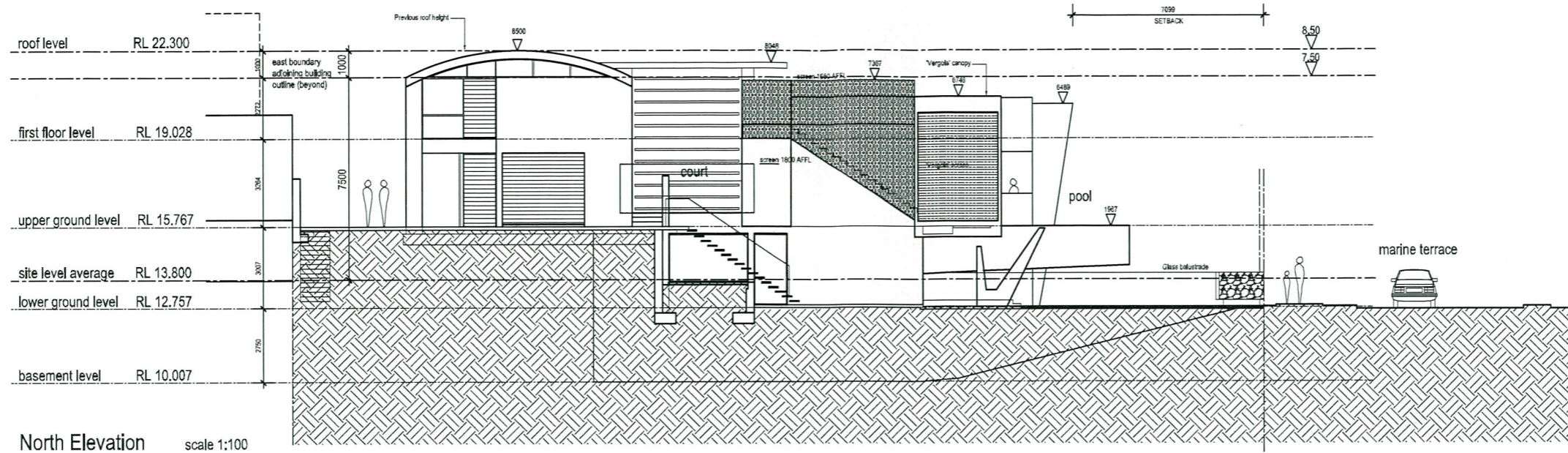
West Elevation scale 1:100
[PROPOSED]

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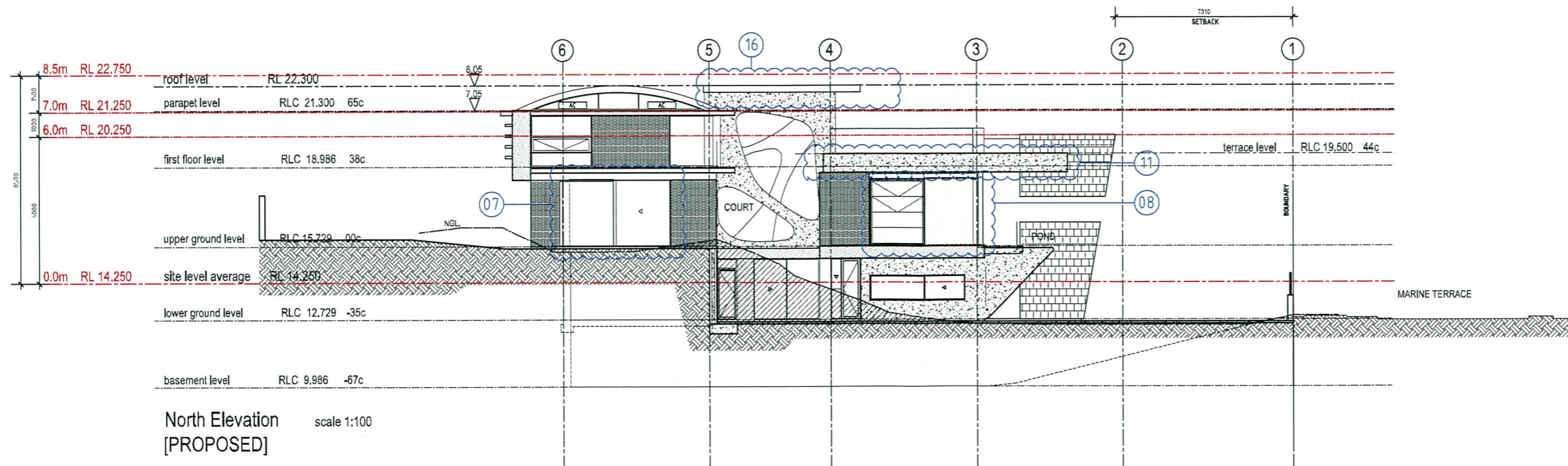
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North Elevation scale 1:100
[PREVIOUSLY APPROVED]



North Elevation scale 1:100
[PROPOSED]

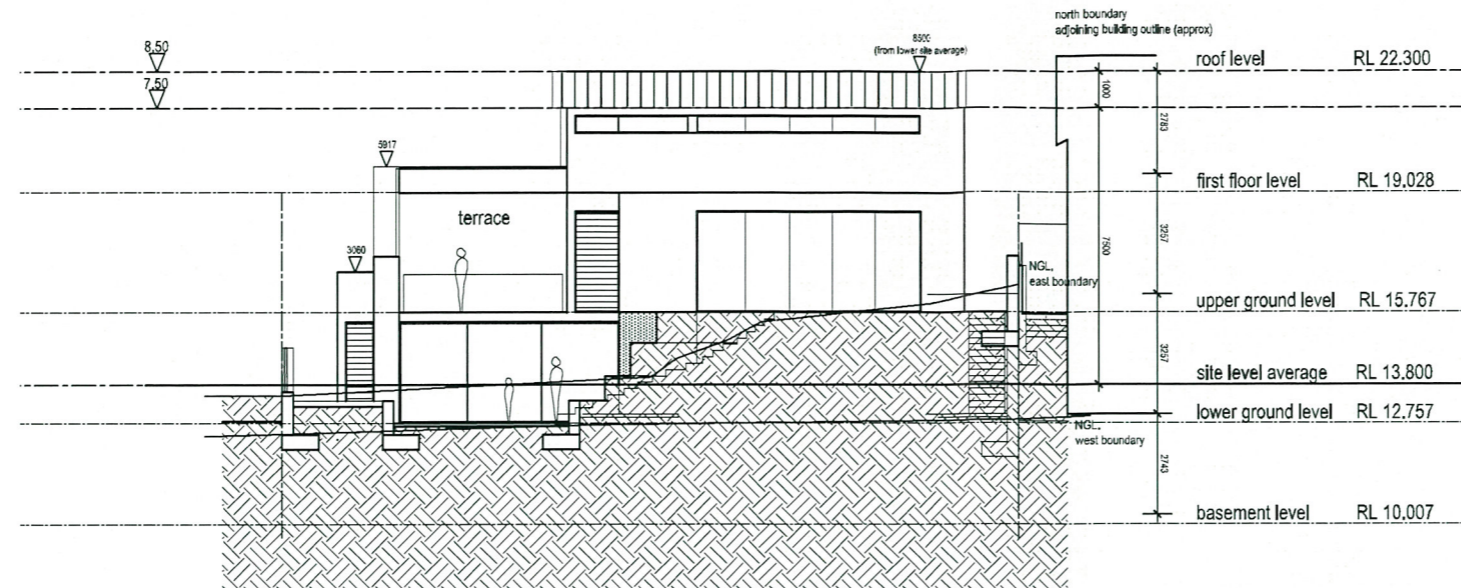
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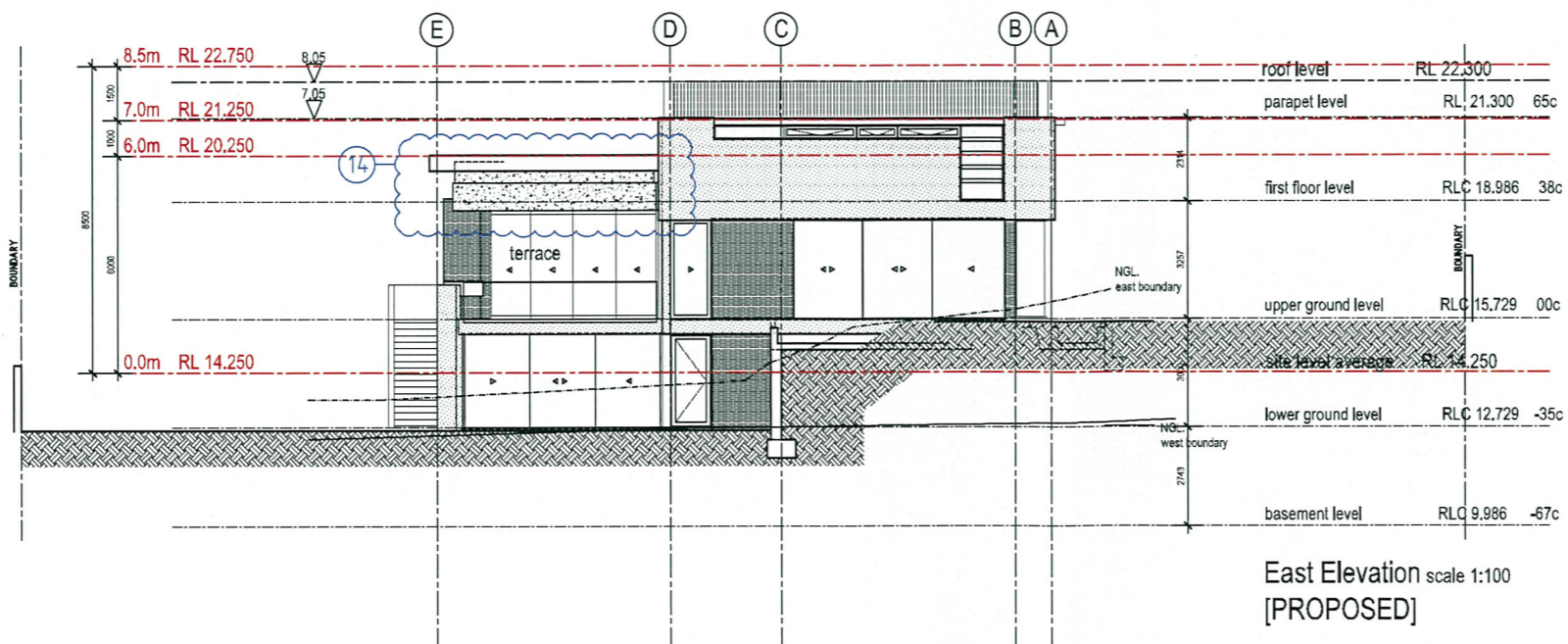
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East Elevation scale 1:100
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East Elevation scale 1:100
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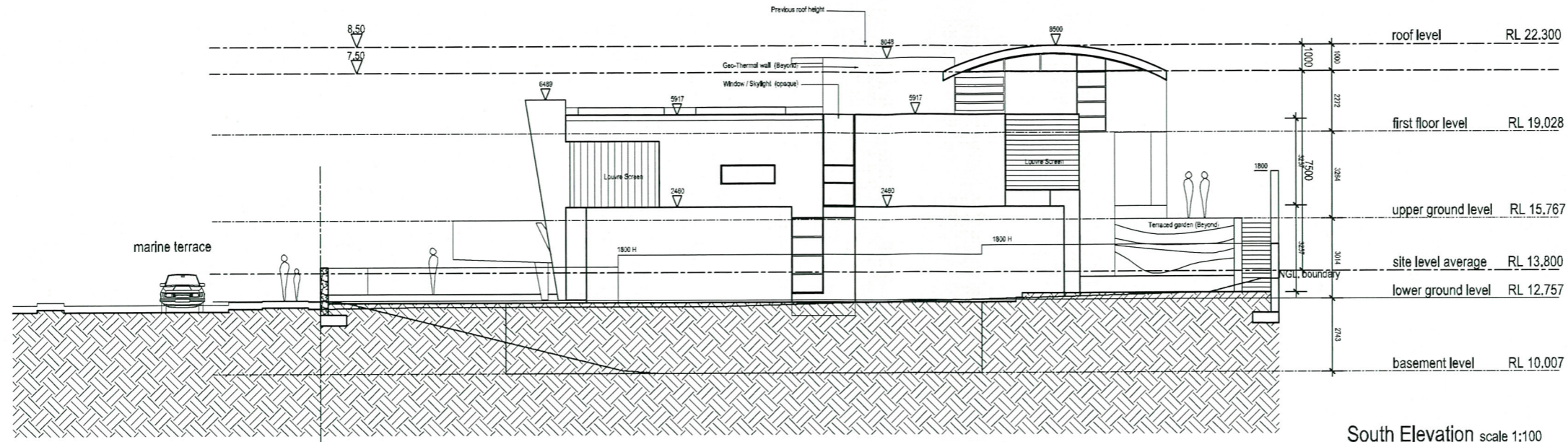
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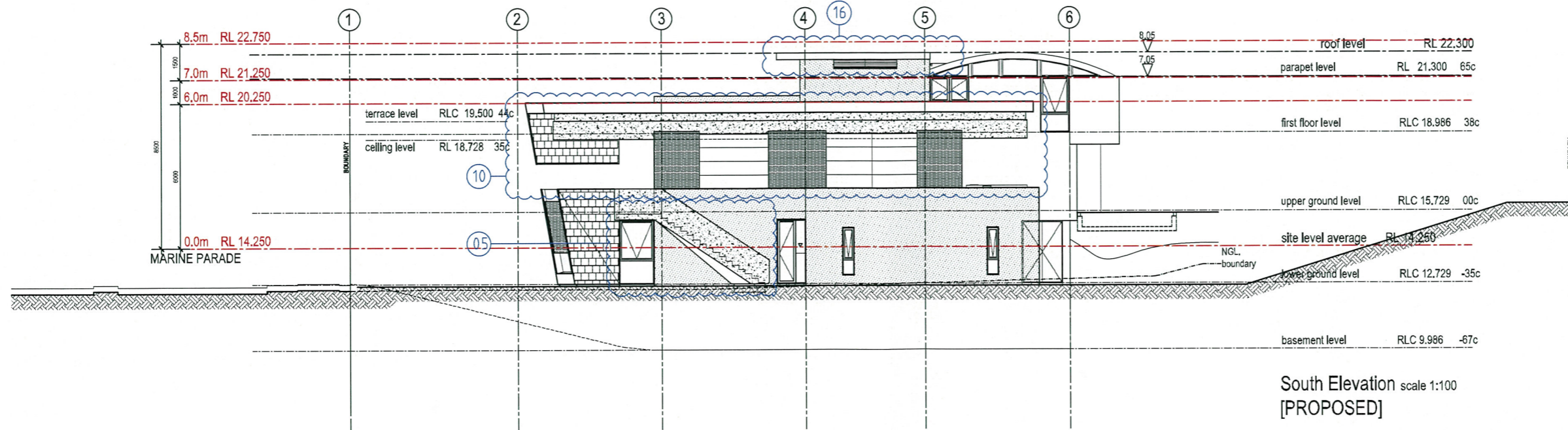
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South Elevation scale 1:100
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South Elevation scale 1:100
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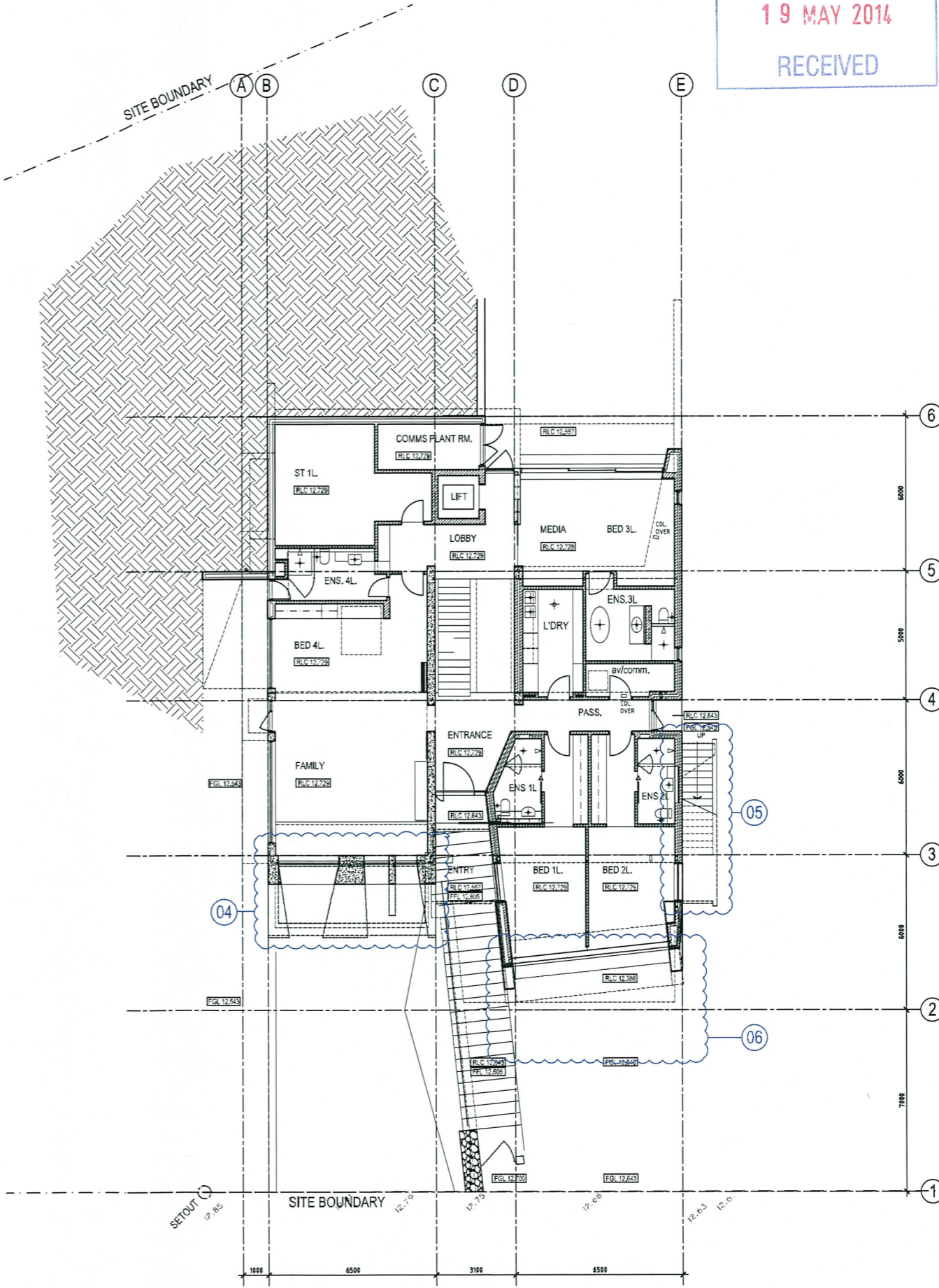
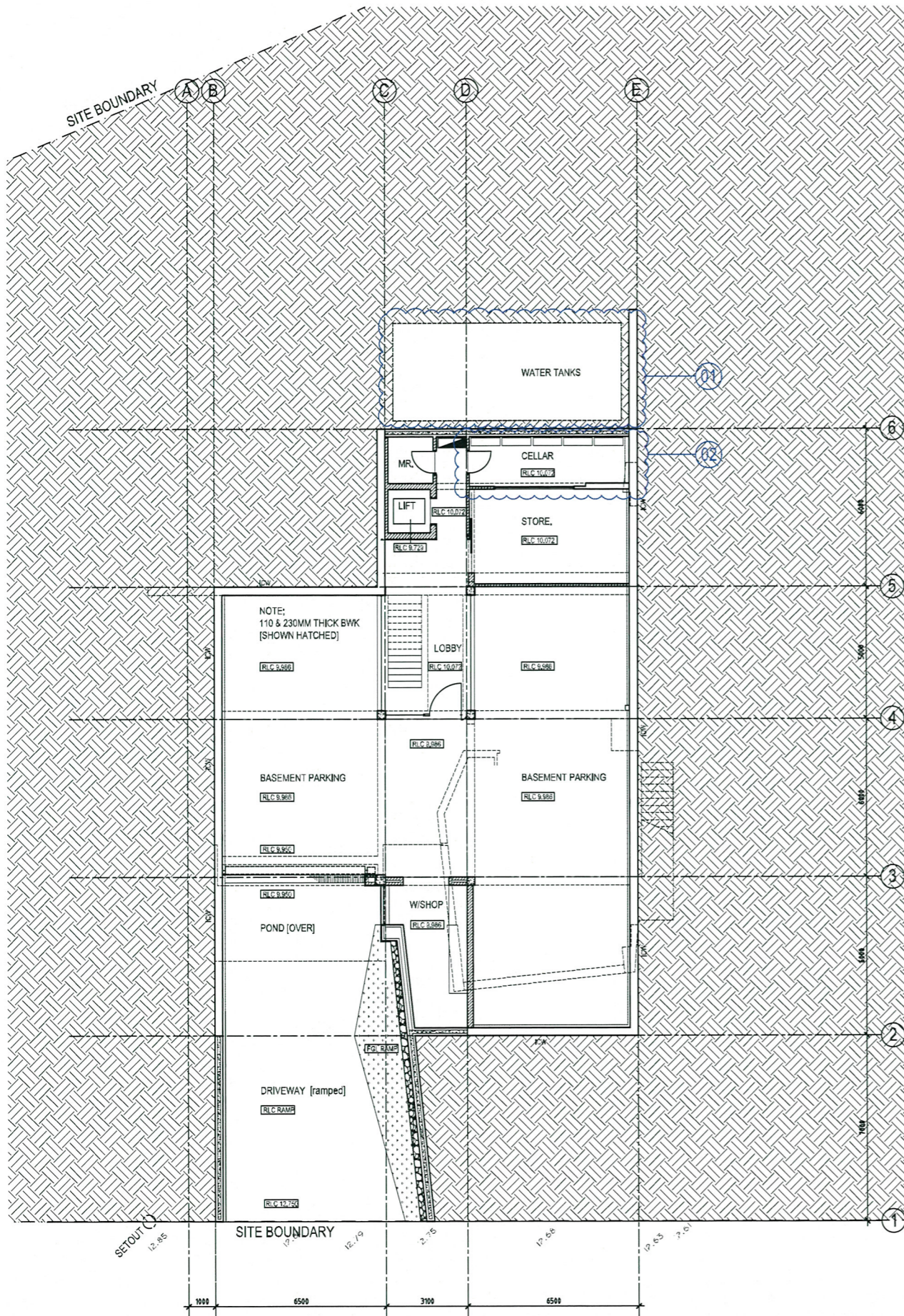
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TOWN OF COTTESLOE
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- MATERIAL FINISHES**
- ST1 - STONE FLOOR / WALL (BLACK-TBS)
 - ST2 - STONE FLOOR / WALL (WHITE-TBS)
 - ST3 - STONE FLOOR / WALL (BROWN-TBS)
 - ST4 - STONE FLOOR / WALL (BATHROOMS)
 - ST5 - STONE COBBLE (TBS)
 - ST6 - STONE FLOOR SLABS (TBS)
 - STW (H) - STONE FLOOR - HEATED
 - SW1 - STONE WALL SOLID (TBS)
 - C01 - CONC. / OFF FORM FINISH (WHITE)
 - C02 - CONC. / OFF FORM FINISH (GREY)
 - C03 - CONC. / OFF FORM (RENDER FINISH)
 - CF1 - WASHED CONCRETE
 - CF2 - POLISHED CONCRETE
 - CF3 - GRANO CONCRETE
 - CF4 - CONC. (ANKED (POOL))
 - CF5 - CONC. SEALED (POOL)
 - TF1 - SOLID TIMBER (TBS)
 - TF2 - SOLID TIMBER (TBS)
 - CP1 - CARPET (TBS)
 - CP2 - CARPET (TBS)
 - TC1 - SOLID TIMBER WALL CLADDING (TBS)
 - CT1 - CERAMIC TILES (TBS)
 - CT2 - CERAMIC TILES (TBS) / NOM 10MM TH.
 - CT3 - CERAMIC TILES (TBS) / NOM 10MM TH.
 - RB1 - RENDERED BWK (DADO)
 - RB2 - RENDERED BWK
 - MC1 - METAL CLADDING (EUROCLAD)
 - MC2 - METAL CLADDING
 - MS1 - MILD STEEL GALVANISED (PAINT FINISH)
 - MR1 - METAL ROOF (TRIMDEX XSE)
 - MR2 - METAL ROOF (CUSTOM BLUE ORB XSE)
 - MR3 - METAL ROOF PRESSING (XSE)
 - ACP - ALUMINUM COMPOSITE PANEL
 - AL1 - ALUMINUM PRESSING
 - FRG - FIBRE REIN. CONC. SHEETING (SPEC)
 - BA1 - BALUSTRADE (FRAMELESS GLASS)
 - BA2 - BALUSTRADE (FRAMED GLASS)
 - SG1 - STRUCTURAL GLASS (FRAMELESS)
 - SG2 - STRUCTURAL GLASS (FRAMED)
 - PA1 - PAVING (STONE CLAD.TBS)
 - PA2 - PAVING (WASHED CONC.TBS)
 - PA3 - PAVING (COBBLE STONE.TBS)
 - LV1 - ALUM. LOUVRE SCREEN
 - VW1 - V PANEL WALL (MM EXPRESSED JOINTS)
 - PB - PLASTERBOARD FLUSH JOINED
 - SK1 - SKIM-COAT (IM PLASTER)
 - SK2 - SKIM-COAT (CEMENT RENDER)
 - TB1 - TIMBER BATTENS (TBS)
 - TC1 - SOLID TIMBER WALL CLADDING (TBS)
 - LS - LANDSCAPE SELECTION (TBS)
 - PC1 - PERFORATED CEILING (TBS)

- LEGEND - [CEILING]**
- EX - EXHAUST FANS
 - SDT - SIDOOR TRACKS (RECESSED)
 - REF - REFER DOOR SCHEDULE
 - [Hatched] - CURTAIN FLUSH RECESSED TO CL. (CONFIRM - INTERIOR DESIGNER)
 - [Dotted] - FULL HEIGHT CABINETWORK. (CONFIRM - INTERIOR DESIGNER)
 - [Triangle] - BULKHEAD / WALL A/C REGISTERS (CONFIRM) REFER ALSO CABINET DETAILS
 - RG - (A/C) RETURN GRILL IN DOOR
 - BC - (A/C) BALANCE CONTROL
 - [Square] - SLAB PENETRATION LOCATIONS. (TO BE CONFIRMED) NOM 600x300 AVI CABLE RISER

- LEGEND**
- [Thick Line] - 110MM / 230MM THICK LOAD BEARING BRICKWORK
 - [Dashed Line] - OFF FORM CONCRETE

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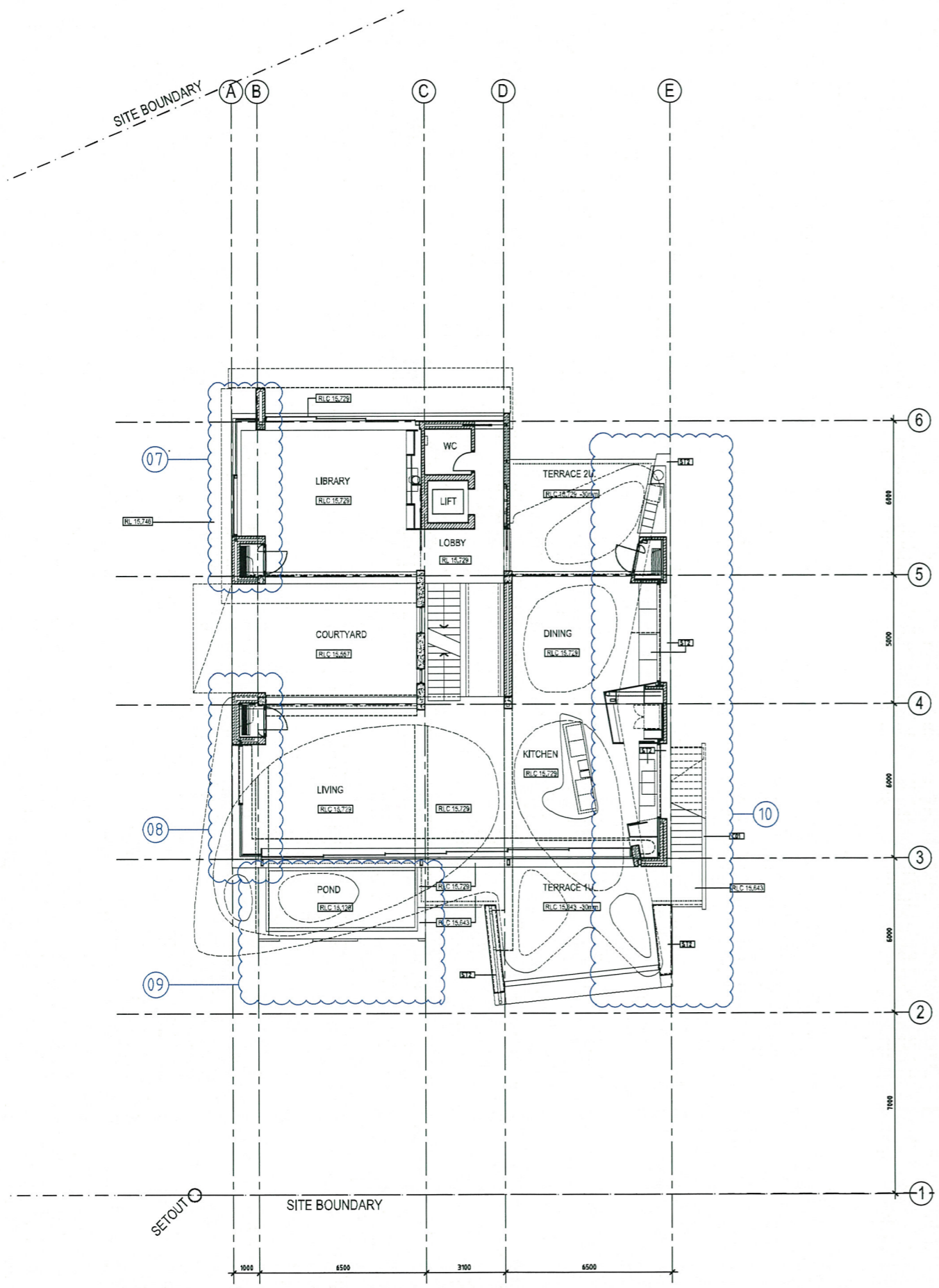
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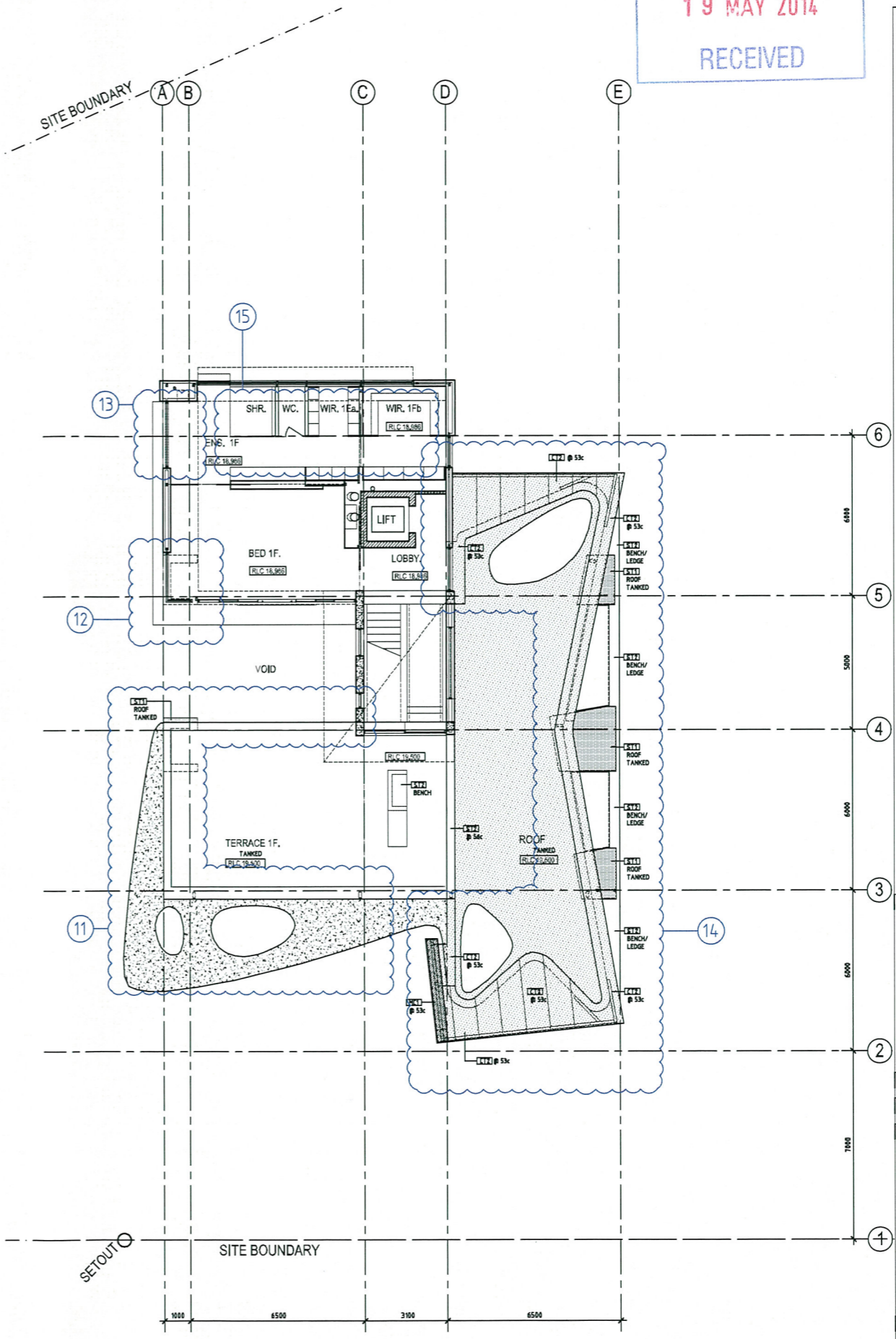
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TOWN OF COTTESLOE
 19 MAY 2014
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UPPER GROUND LEVEL scale 1:100



FIRST LEVEL / TERRACE / LOWER ROOF scale 1:100

- MATERIAL FINISHES**
- ST1 - STONE FLOOR / WALL (BLACK-TBS)
 - ST2 - STONE FLOOR / WALL (WHITE-TBS)
 - ST3 - STONE FLOOR / WALL (BROWN-TBS)
 - ST4 - STONE FLOOR / WALL (BATHROOMS)
 - ST5 - STONE COBBLE (TBS)
 - ST6 - STONE FLOOR SLABS (TBS)
 - ST7 [H] - STONE FLOOR - HEATED
 - SW1 - STONE WALL SOLID (TBS)
 - CO1 - CONC. / OFF FORM FINISH (WHITE)
 - CO2 - CONC. / OFF FORM FINISH (GREY)
 - CO3 - CONC. / OFF FORM (RENDER FINISH)
 - CF1 - WASHED CONCRETE
 - CF2 - POLISHED CONCRETE
 - CF3 - GRAND CONCRETE
 - CF4 - CONC. TANKED (POOL)
 - CF5 - CONC. SEALED (POOL)
 - TF1 - SOLID TIMBER (TBS)
 - TF2 - SOLID TIMBER (TBS)
 - CP1 - CARPET (TBS)
 - CP2 - CARPET (TBS)
 - TC1 - SOLID TIMBER WALL CLADDING (TBS)
 - CT1 - CERAMIC TILES (TBS)
 - CT2 - CERAMIC TILES (TBS) NOM 10MM TH.
 - CT3 - CERAMIC TILES (TBS) NOM 10MM TH.
 - RB1 - RENDERED BWK (DADO)
 - RB2 - RENDERED BWK
 - MC1 - METAL CLADDING (EUROCLAD)
 - MC2 - METAL CLADDING
 - MS1 - MILD STEEL GALVANISED (PAINT FINISH)
 - MR1 - METAL ROOF (TRINDER XSE)
 - MR2 - METAL ROOF (CUSTOM BLUE ORB XSE)
 - MR3 - METAL ROOF PRESSING (XSE)
 - ACP - ALUMINIUM COMPOSITE PANEL
 - AL1 - ALUMINIUM PRESSING
 - FRC - FIBRE REIN. CONC. SHEETING (SPEC)
 - BA1 - BALUSTRADE (FRAMELESS GLASS)
 - BA2 - BALUSTRADE (FRAMED GLASS)
 - SG1 - STRUCTURAL GLASS (FRAMELESS)
 - SG2 - STRUCTURAL GLASS (FRAMED)
 - PA1 - PAVING (STONE CLAD. TBS)
 - PA2 - PAVING (WASHED CONC. TBS)
 - PA3 - PAVING (COBBLE STONE. TBS)
 - LV1 - ALUM. LOUVER SCREEN
 - VM1 - V PANEL WALL (BMM EXPRESSED JOINTS)
 - PB - PLASTERBOARD FLUSH JOINTED
 - SK1 - SKIM-COAT (HW PLASTER)
 - SK2 - SKIM-COAT (CEMENT RENDER)
 - TB1 - TIMBER BATTENS (TBS)
 - TC1 - SOLID TIMBER WALL CLADDING (TBS)
 - LS - LANDSCAPE SELECTION (TBS)
 - PC1 - PERFORATED CEILING (TBS)

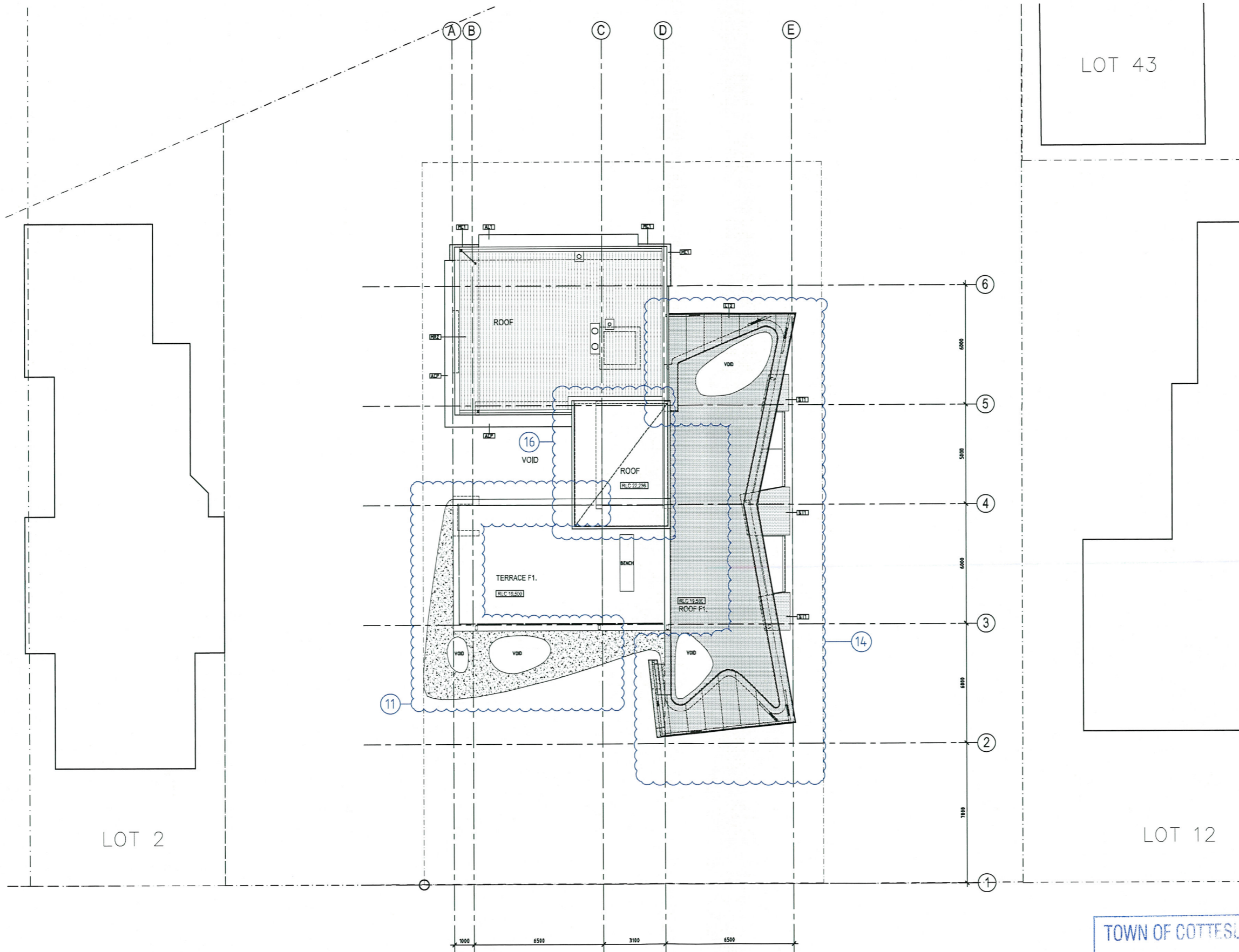
- LEGEND - (CEILING)**
- EX - EXHAUST FANS
 - SDT - SIDOOR TRACKS (RECESSED)
 - REFER DOOR SCHEDULE
 - CURTAIN FLUSH RECESSED TO CL. (CONFIRM - INTERIOR DESIGNER)
 - FULL HEIGHT CABINETWORK. (CONFIRM - INTERIOR DESIGNER)
 - ▲ ▼ - BULKHEAD / WALL A/C REGISTERS (CONFIRM) REFER ALSO CABINET DETAILS
 - RG - (A/C) RETURN GRILL IN DOOR
 - BC - (A/C) BALANCE CONTROL
 - ☐ - SLAB PENETRATION LOCATIONS. (TO BE CONFIRMED) NOM 800X300 AV/ CABLE RISER

- LEGEND**
- 110MM / 230MM THICK LOAD BEARING BRICKWORK
 - OFF FORM CONCRETE

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ROOF PLAN
scale 1:100

LOT 43

LOT 2

LOT 12

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- MATERIAL FINISHES**
- ST1 - STONE FLOOR / WALL (BLACK-TBS)
 - ST2 - STONE FLOOR / WALL (WHITE-TBS)
 - ST3 - STONE FLOOR / WALL (BROWN-TBS)
 - ST4 - STONE FLOOR / WALL (BATHROOMS)
 - ST5 - STONE COBBLE (TBS)
 - ST6 - STONE FLOOR SLABS (TBS)
 - ST# (H) - STONE FLOOR - HEATED
 - SW1 - STONE WALL SOLID (TBS)
 - CO1 - CONC. / OFF FORM FINISH (WHITE)
 - CO2 - CONC. / OFF FORM FINISH (GREY)
 - CO3 - CONC. / OFF FORM (RENDER FINISH)
 - CF1 - WASHED CONCRETE
 - CF2 - POLISHED CONCRETE
 - CF3 - GRANO CONCRETE
 - CF4 - CONC. TANKED (POND)
 - CF5 - CONC. SEALED (POOL)
 - TF1 - SOLID TIMBER (TBS)
 - TF2 - SOLID TIMBER (TBS)
 - CP1 - CARPET (TBS)
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 - TC1 - SOLID TIMBER WALL CLADDING (TBS)
 - CT1 - CERAMIC TILES (TBS)
 - CT2 - CERAMIC TILES (TBS) / NOM 10MM TH.
 - CT3 - CERAMIC TILES (TBS) / NOM 10MM TH.
 - RB1 - RENDERED B/W (DADO)
 - RB2 - RENDERED B/W
 - MC1 - METAL CLADDING (EUROCLAD)
 - MC2 - METAL CLADDING
 - MS1 - MILD STEEL GALVANISED (PAINT FINISH)
 - MR1 - METAL ROOF (TRIMDEX XSE)
 - MR2 - METAL ROOF (CUSTOM BLUE ORB XSE)
 - MR3 - METAL ROOF PRESSING (XSE)
 - ACP - ALUMINIUM COMPOSITE PANEL
 - AL1 - ALUMINIUM PRESSING
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 - BA1 - BALUSTRADE (FRAMELESS GLASS)
 - BA2 - BALUSTRADE (FRAMED GLASS)
 - SG1 - STRUCTURAL GLASS (FRAMELESS)
 - SG2 - STRUCTURAL GLASS (FRAMED)
 - PA1 - PAVING (STONE CLAD. TBS)
 - PA2 - PAVING (WASHED CONC. TBS)
 - PA3 - PAVING (COBBLE STONE. TBS)
 - LV1 - ALUM. LOUVRE SCREEN
 - VW1 - V PANEL WALL (6MM EXPRESSED JOINTS)
 - PB - PLASTERBOARD FLUSH JOINTED
 - SK1 - SKIM-COAT (HW PLASTER)
 - SK2 - SKIM-COAT (CEMENT RENDER)
 - TB1 - TIMBER BATTENS (TBS)
 - TC1 - SOLID TIMBER WALL CLADDING (TBS)
 - LS - LANDSCAPE SELECTION (TBS)
 - PC1 - PERFORATED CEILING (TBS)

- LEGEND - (CEILING)**
- EX - EXHAUST FANS
 - SDT - S/DOOR TRACKS (RECESSED)
 - REFER DOOR SCHEDULE
 - CURTAIN FLUSH RECESSED TO CL. (CONFIRM - INTERIOR DESIGNER)
 - FULL HEIGHT CABINETWORK (CONFIRM - INTERIOR DESIGNER)
 - ▲ ▽ - BULKHEAD / WALL A/C REGISTERS (CONFIRM) REFER ALSO CABINET DETAILS
 - RG - (A/C) RETURN GRILL IN DOOR
 - BC - (A/C) BALANCE CONTROL
 - □ SLAB PENETRATION LOCATIONS. (TO BE CONFIRMED) NOM 800X300 AV/ CABLE RISER

- LEGEND**
- 110MM / 230MM THICK LOAD BEARING BRICKWORK
 - OFF FORM CONCRETE

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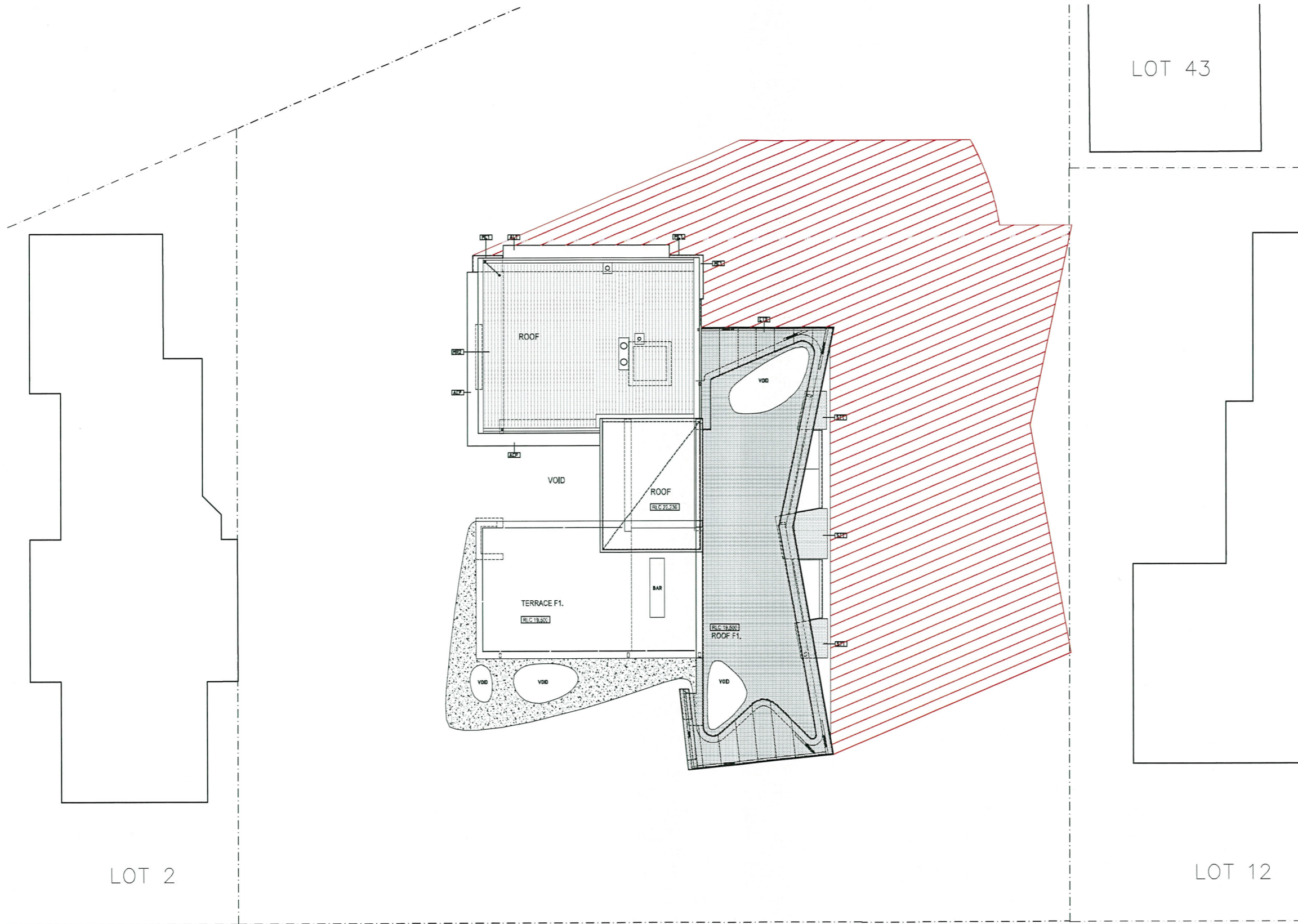
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OVERSHADOWING DIAGRAM
scale 1:100



0% OVERSHADOWING

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Document Number
D14/11175

PLAN LEGEND

ARBOR SCREEN SPECIMEN
MACADAMEA OBTUSIFOLIA or *SCHEFLERA SP*
(MATURE TRANSPLANT)

EXPOSURE TOLERANT GROVE SPECIES
OLEA EUROPA
(MATURE TRANSPLANT)

UMBRELLA FORM CANOPY SHADE SPECIMEN
DELONIX REGIA or *GLEDITSIA TRIACANTHUS*
or *TIPUANA TIPU*
(MATURE TRANSPLANT)

EXPOSURE TOLERANT EVERGREEN SPECIES
COPROSMA REPENS or *MELALEUCA LANCEOLATA* or *MAGNOLIA LITTLE GEM*
(MATURE TRANSPLANT)

ACCENT PLANTING
CRINUM SP, *FURCRAEA SP*, *GINGER SP*,
ALLOCASIA SP, *THALEA SP*
(MATURE TRANSPLANT)

PLANTING TYPE 01_ SELECTED TURF SPECIES

PLANTING TYPE 02_ GREY COASTAL MEADOW

PLANTING TYPE 03_ GREEN COASTAL MEADOW

PLANTING TYPE 04_ MASS PERENNIAL DICOT/MONOCOT COMPOSITION

PLANTING TYPE 05_ MASS PERENNIAL MONOCOT

PLANTING TYPE 06_ CREEPER SCREEN CONTAINED WITHIN CAGE WALLS

PLANTING TYPE 07_ PERMANENT AND TEMP SUBMERSED AQUATIC - IRIS AND SEDGE

PLANTING TYPE 08_ FLOATING AQUATIC WATER LILY'S & LOTUS

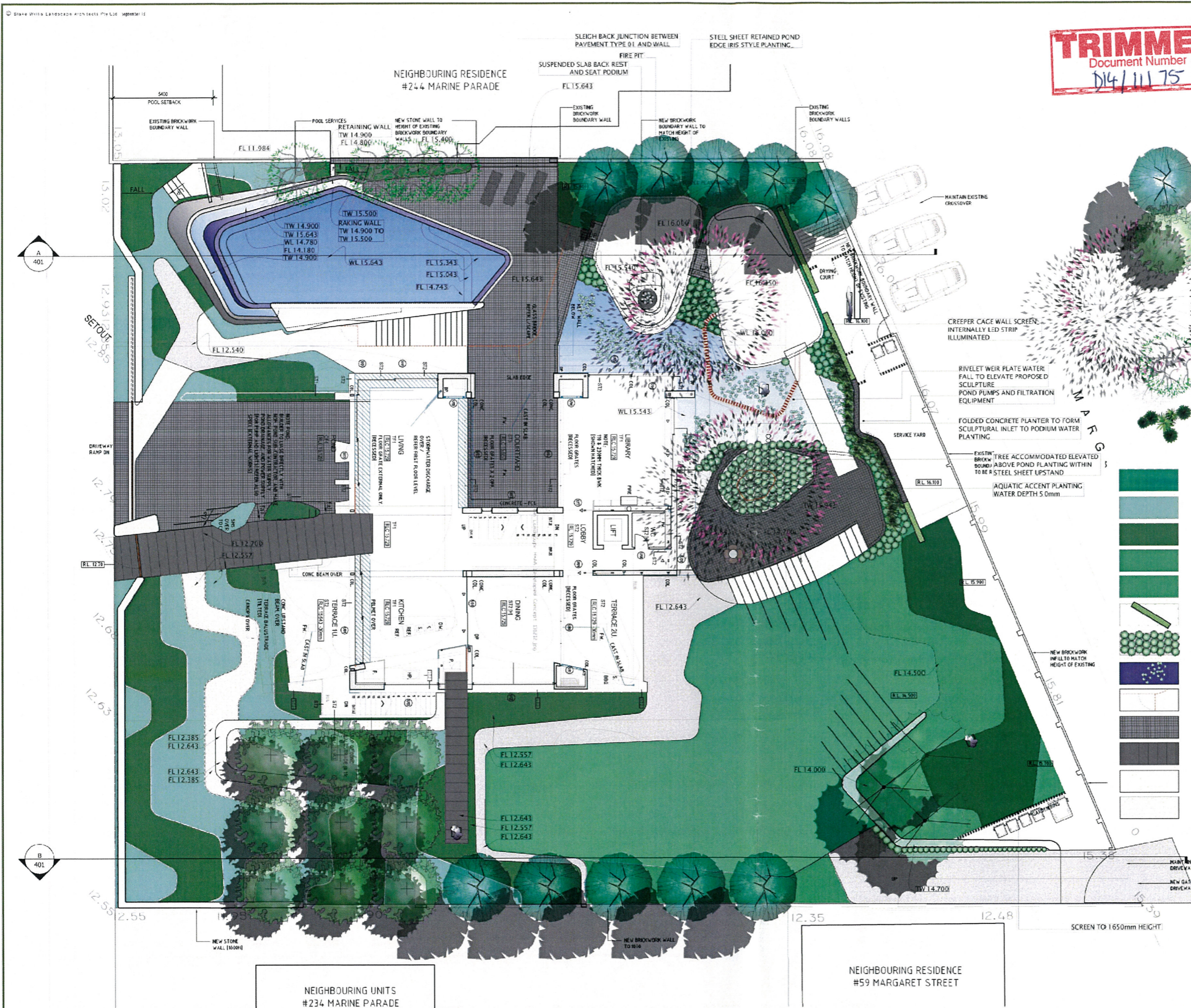
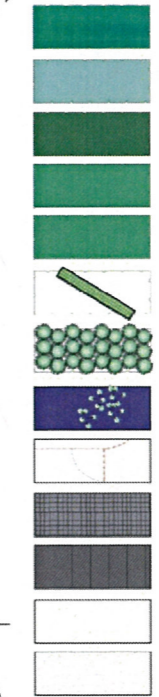
POOL ISOLATION FENCING & GATE TO CONFORM TO AS1926

PLANTING TYPE 01_ PORFREY COBBLE

PAVEMENT TYPE 03_ EXPOSED AGGREGATE CONCRETE TONE 01

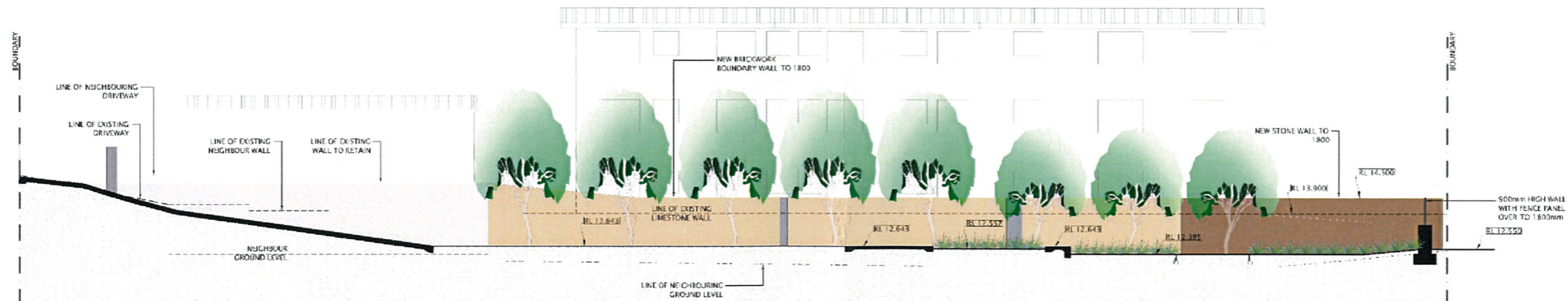
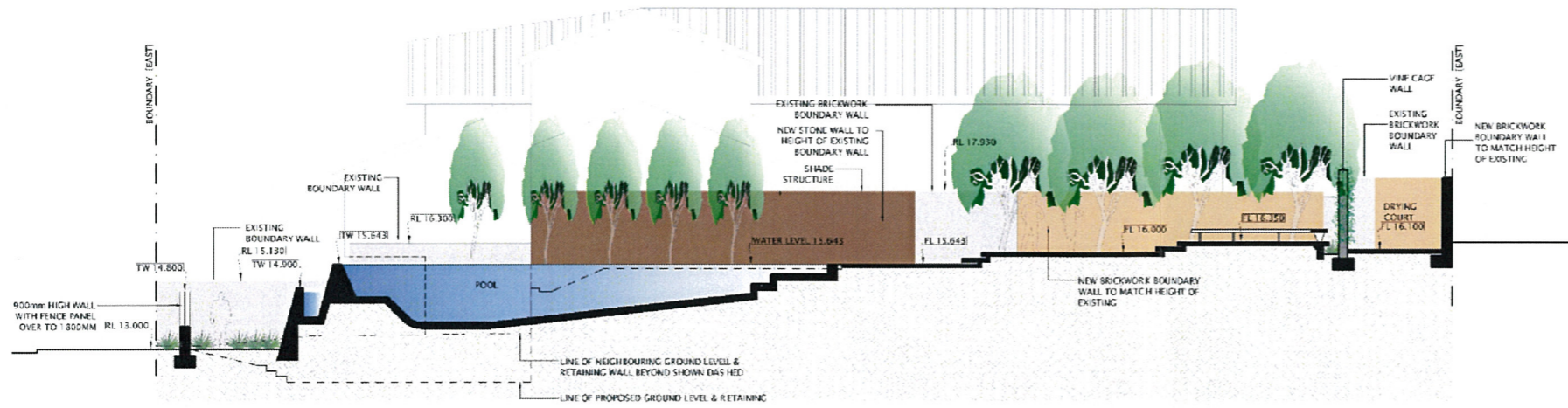
PAVEMENT TYPE 04_ EXPOSED AGGREGATE CONCRETE TONE 02

PAVEMENT TYPE 04_ GREY MEADOW



Scale bar (0-10m), north arrow, and project metadata including '0150-LS-002' and 'D'.

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DATE	DESCRIPTION	BY	CHK
11/09/11	CONCEPT DESIGN	BLW	BLW
11/09/11	PRELIMINARY DESIGN	BLW	BLW
11/09/11	FINAL DESIGN	BLW	BLW
11/09/11	CONSTRUCTION	BLW	BLW

BLAKE WILLIS LANDSCAPE ARCHITECTS
 0150-LS-401 B