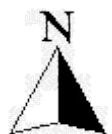


32 (Lot 501) Avonmore Tce

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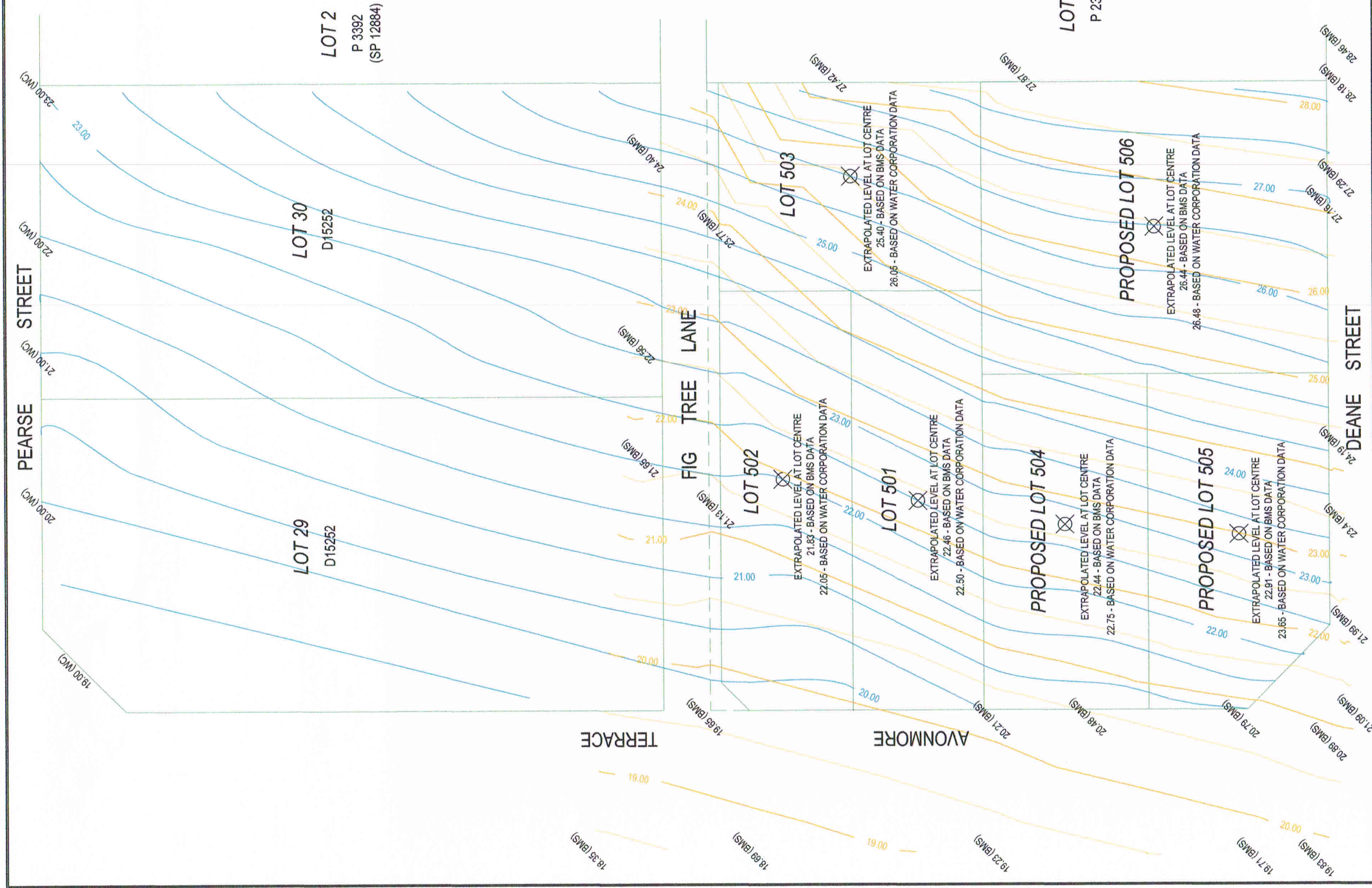
Scale 1:616

Wednesday, 12  
November 2014



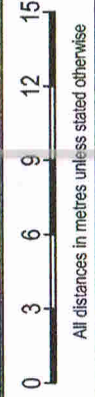


LEGEND	
	PROPOSED & CURRENT BOUNDARIES
	CONTOUR (INTERVAL 0.5m) BASED ON WATER CORPORATION INFORMATION
	CONTOUR (INTERVAL 0.5m) BASED ON BROWN McALLISTER SURVEYORS SURVEYED LEVELS
	LEVELS SURVEYED BY BROWN McALLISTER SURVEYORS (BMS) 24.40 (GMS)
	LEVELS DERIVED FROM WATER CORPORATION INFORMATION SHEETS (WC) 23.00 (WC)



Applicant's Survey Plan

SCALE  
1 : 300



All distances in metres unless stated otherwise

THE BOUNDARIES WERE NOT RE-ESTABLISHED AS PART OF THIS SURVEY THEREFORE THIS PLAN DOES NOT GUARANTEE THEIR ACCURACY

ALL AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY AND EXAMINATION

**Brown McAllister Surveyors**  
 Licensed Surveyors | Land Development & Strata Consultants | Engineering Surveyors  
 Email : [admin@brownmcallister.com.au](mailto:admin@brownmcallister.com.au) Tel: (08) 9386 9688  
 43 Broadway, Nedlands, Western Australia, 6009 Fax: (08) 9386 9677

**EXTRAPOLATED CONTOUR PLAN OF DEVELOPMENT BOUND BY DEANE STREET, AVONMORE TERRACE & FIG TREE LANE, COTTESLOE**

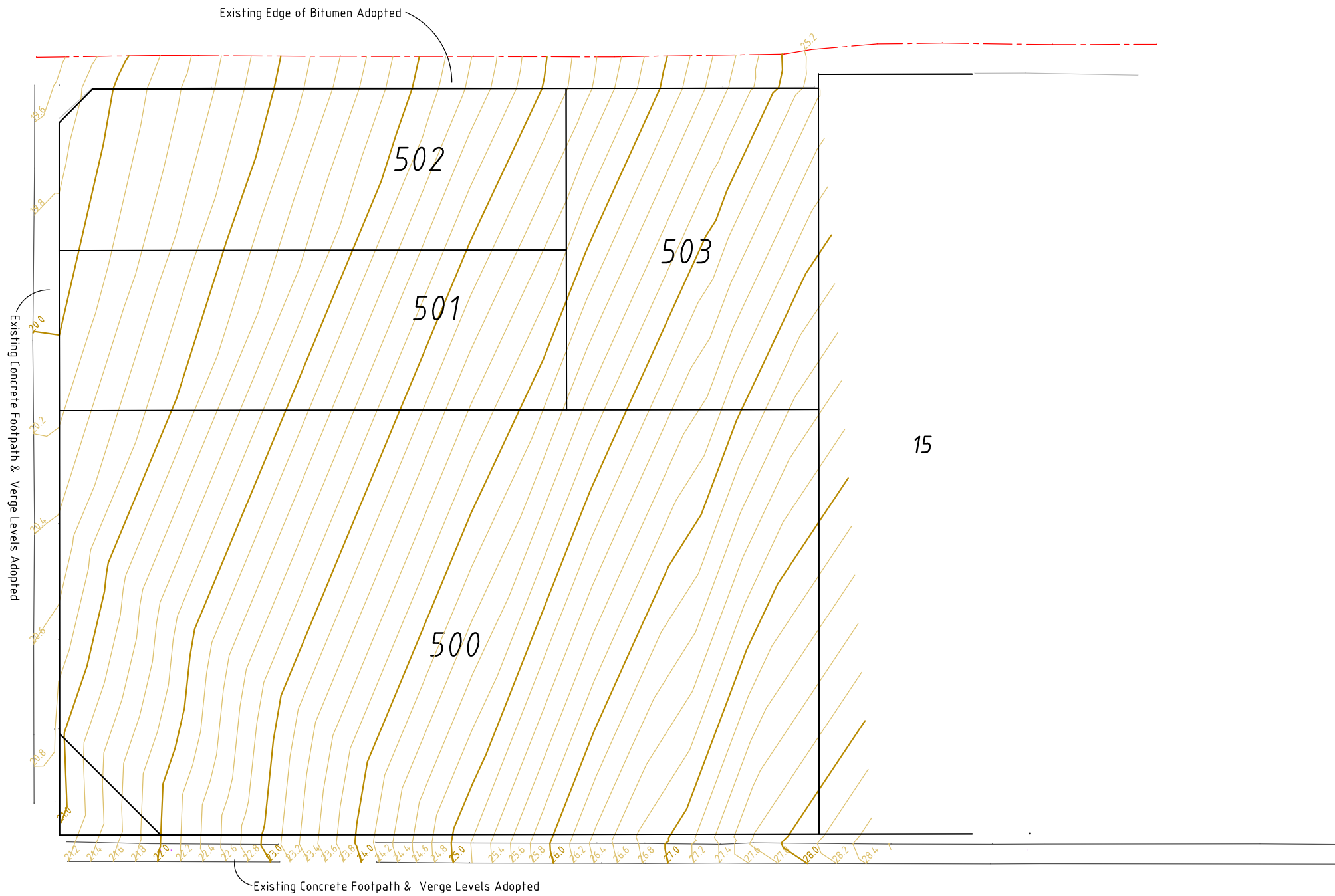
DATUM  
HORIZONTAL - PCG 94  
VERTICAL - AHD

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Client	OCEANSIDE HOMES
SHEET	A3
SURVEYED	
FIELD NOTES	
DRAWN	T. PIZZI - 28/11/2014
CHECKED	
REFERENCE	13104-11SK_rev1

FIG TREE LANE

AVONMORE TERRACE



DEANE STREET

NOTES

This plan has been prepared for the client and should not be used for any other purpose unless authorised by Whelans Australia Pty Ltd.

The location of cadastral boundaries shown has been extracted from Landgate's database on 27/11/2014 and are subject to survey.

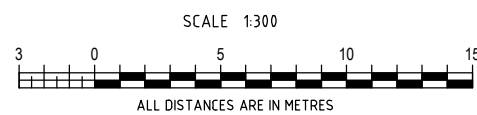
Boundary dimensions have been sourced from the Plan/Diagram for this lot and are subject to survey.

Prior to the commencement of any work, relevant authorities should be contacted for the location of underground services.

Levels are based on AHD and derived from SSM MEL 58

Due to overwriting some levels may be switched off for this plot only.

This note is an integral part of this plan.



Rev.	Description	Drawn	Date	Chkd

Survey Date: 27/11/2014    Surveyed By: DC  
 Drawn Date: 02/12/2014    Drawn By: PHT  
 Scale (A3): 1:300    Checked By: PGJ  
 Hor Datum: PCG94    Vert Datum: AHD



Data File: 141127cottesloe+intep diff.acs  
 CAD File: 141127\_Lot500-503\_Avonmore\_Terrace\_FS.dwg  
 Path: S:\Projects\20\20502\survey\141127DC-AVONMORE TCE COTTESLOE

Suite 4, First Floor, 40 Hasler Road, Osborne Park WA 6017  
 PO Box 99, MOUNT HAWTHORN WA 6915  
 T: 08 6241 3333 F: 08 6241 3300  
 E: whelans@whelans.com.au W: www.whelans.com.au

Client: TOWN OF COTTESLOE

**CONTOUR INTERPOLATION PLAN**  
 LOT 500-503 on DP 401972  
 AVONMORE TERRACE  
 COTTESLOE  
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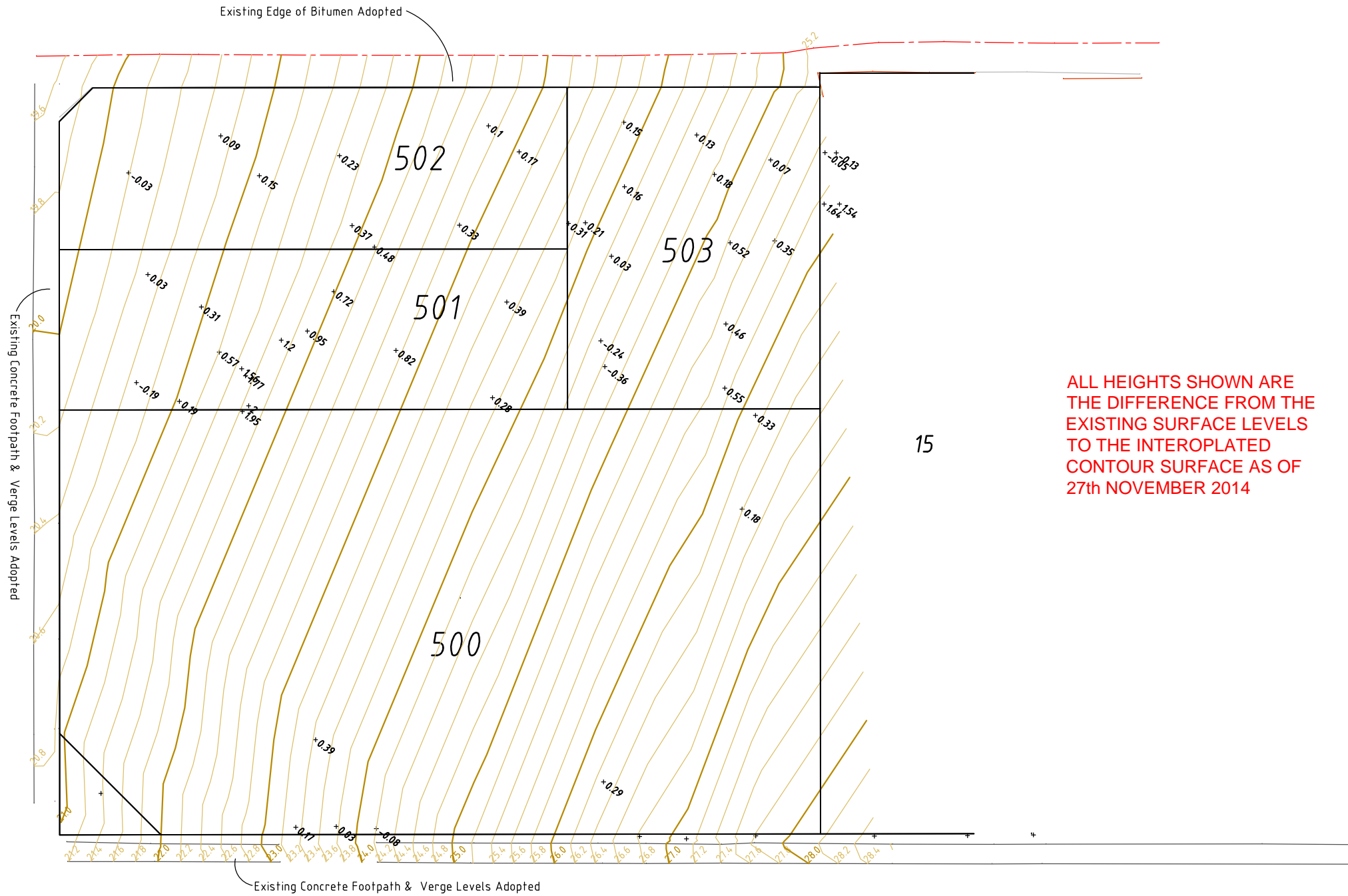
Job No	Item No	Plan No	Rev
<b>20502</b>	<b>- 000</b>	<b>- 001</b>	<b>- 00</b>
Sheet		<b>1</b>	of <b>2</b>





FIG TREE LANE

AVONMORE TERRACE



ALL HEIGHTS SHOWN ARE THE DIFFERENCE FROM THE EXISTING SURFACE LEVELS TO THE INTERPOLATED CONTOUR SURFACE AS OF 27th NOVEMBER 2014

NOTES

This plan has been prepared for the client and should not be used for any other purpose unless authorised by Whelans Australia Pty Ltd.

The location of cadastral boundaries shown has been extracted from Landgate's database on 27/11/2014 and are subject to survey.

Boundary dimensions have been sourced from the Plan/Diagram for this lot and are subject to survey.

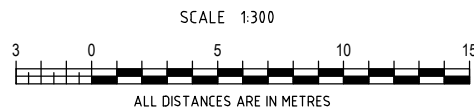
Prior to the commencement of any work, relevant authorities should be contacted for the location of underground services.

Levels are based on AHD and derived from SSM MEL 58

Due to overwriting some levels may be switched off for this plot only.

This note is an integral part of this plan.

DEANE STREET



Rev.	Description	Drawn	Date	Chkd

Survey Date: 27/11/2014    Surveyed By: DC  
 Drawn Date: 02/12/2014    Drawn By: PHT  
 Scale (A3): 1:300    Checked By: PGJ  
 Hor Datum: PCG94    Vert Datum: AHD



Data File: 141127cottesloe+intep diff.acs  
 CAD File: 141127\_Lot500-503\_Avonmore\_Terrace\_FS.dwg  
 Path: S:\Projects\20\20502\survey\141127DC-AVONMORE TCE COTTESLOE



Suite 4, First Floor, 40 Hasler Road, Osborne Park WA 6017  
 PO Box 99, MOUNT HAWTHORN WA 6915  
 T: 08 6241 3333 F: 08 6241 3300  
 E: whelans@whelans.com.au W: www.whelans.com.au

Client: TOWN OF COTTESLOE

CONTOUR INTERPOLATION PLAN

LOT 500-503 on DP 401972  
 AVONMORE TERRACE  
 COTTESLOE

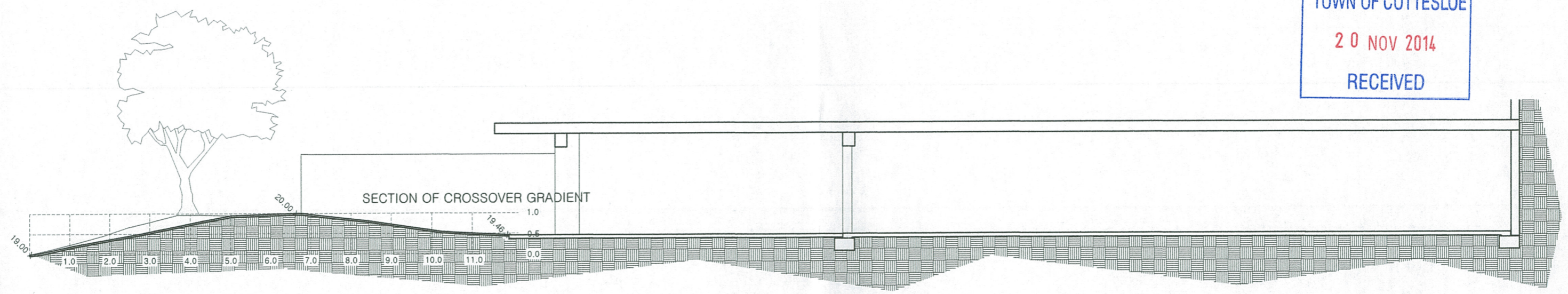
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Job No    Item No    Plan No    Rev  
**20502 - 000 - 001 - 00**  
 Sheet **1** of **2**

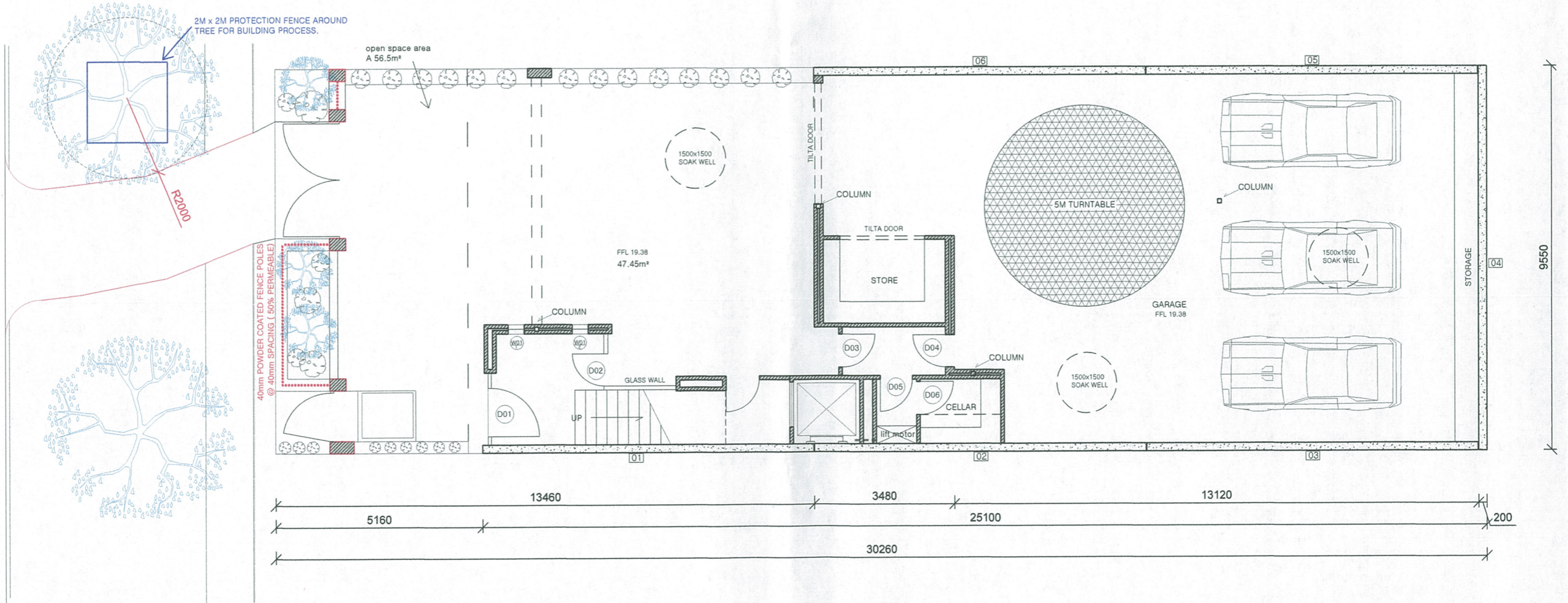




TOWN OF COTTESLOE  
 20 NOV 2014  
 RECEIVED



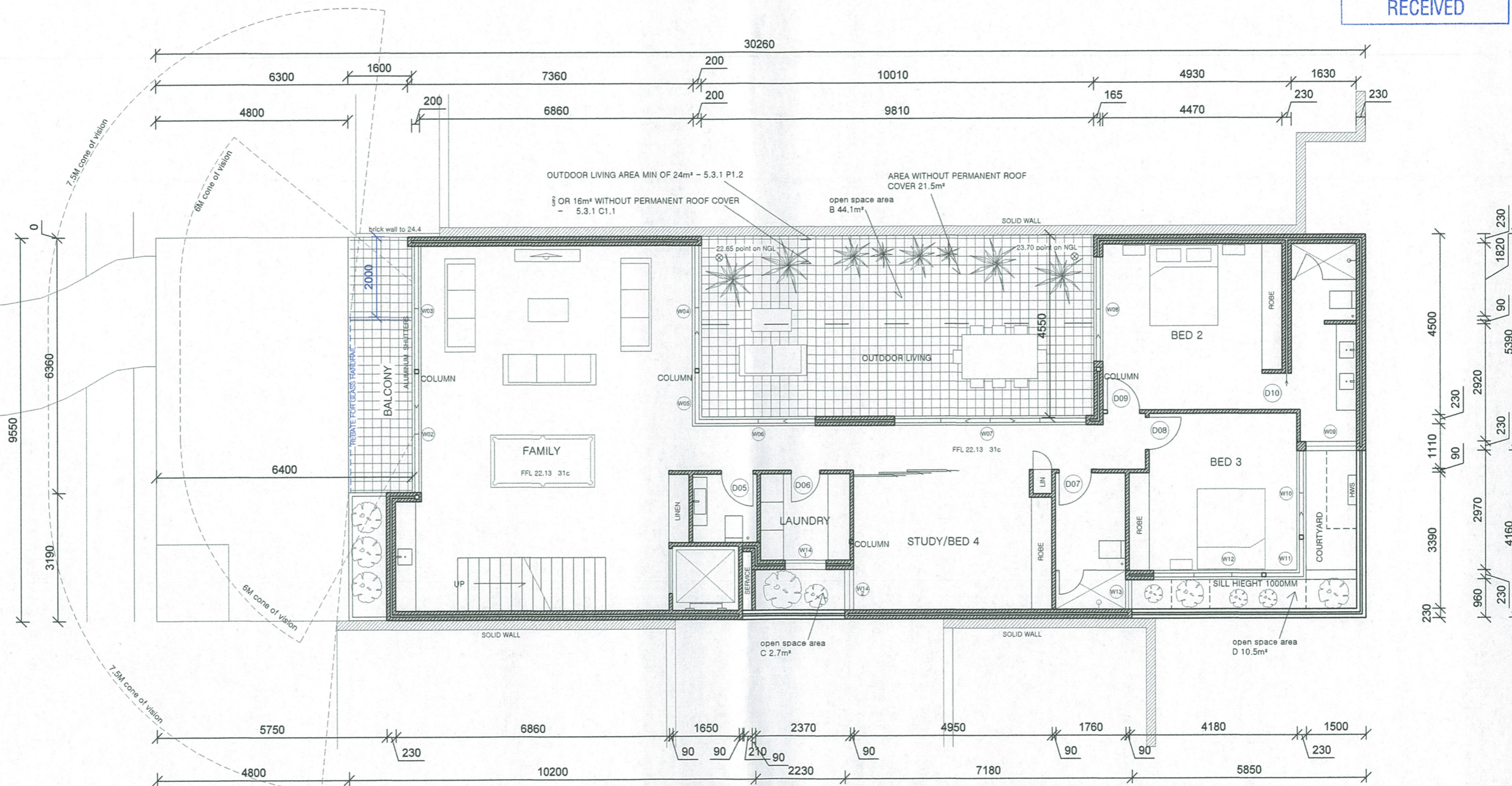
AVONMORE TERRACE



SITE 289m <sup>2</sup> OPEN A 56.5m <sup>2</sup> B 44.1 m <sup>2</sup> C 2.7m <sup>2</sup> D 10.5m <sup>2</sup> E 32.0m <sup>2</sup> 145.8m <sup>2</sup> 50.4% OPEN SPACE	CLIENT : <b>TERRY DUNLEA</b> ADDRESS: 30 AVONMORE TERRACE - LOTB	1 OF 8 <b>BASEMENT</b>	 0419 136 484 2 DEANE STREET, COTTESLOE © COPYRIGHT
		SCALE : 1 : 100	



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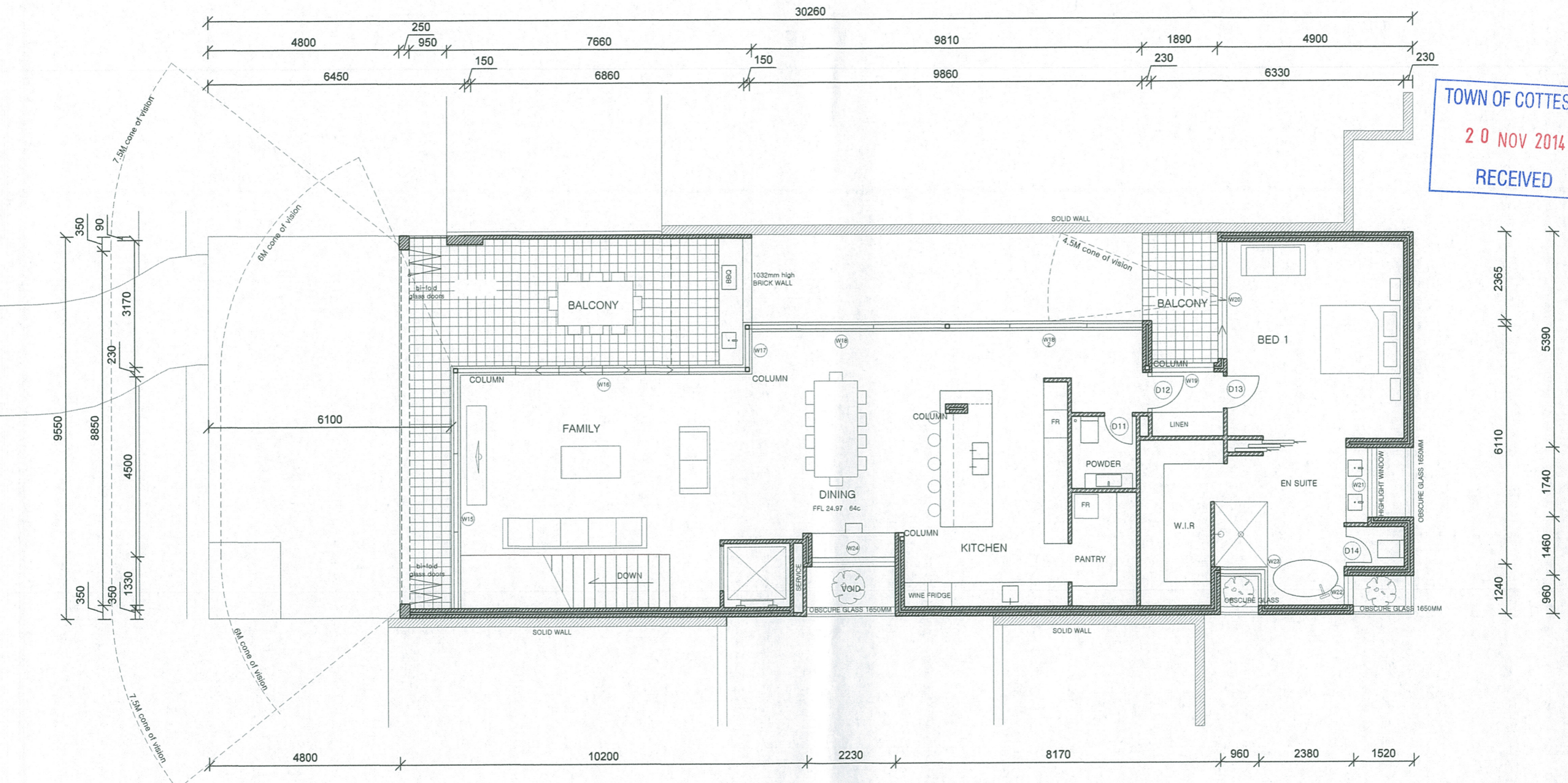


I as the purchaser of the adjoining Lot have sited these plans and have no objection.  
 Purchaser of Lot A 30 Avonmore Tce: \_\_\_\_\_ Purchaser of Lot C 30 Avonmore Tce: \_\_\_\_\_ Purchaser of Lot D 28 Avonmore Tce: \_\_\_\_\_

 SCALE : 1 : 100	CLIENT : <b>TERRY DUNLEA</b>	2 OF 8 <b>GROUND FLR</b>	 0419 136 484 2 DEANE STREET, COTTESLOE © COPYRIGHT
	ADDRESS: <b>30 AVONMORE TERRACE - LOTB</b>	REVISION 10 19/11/2014	



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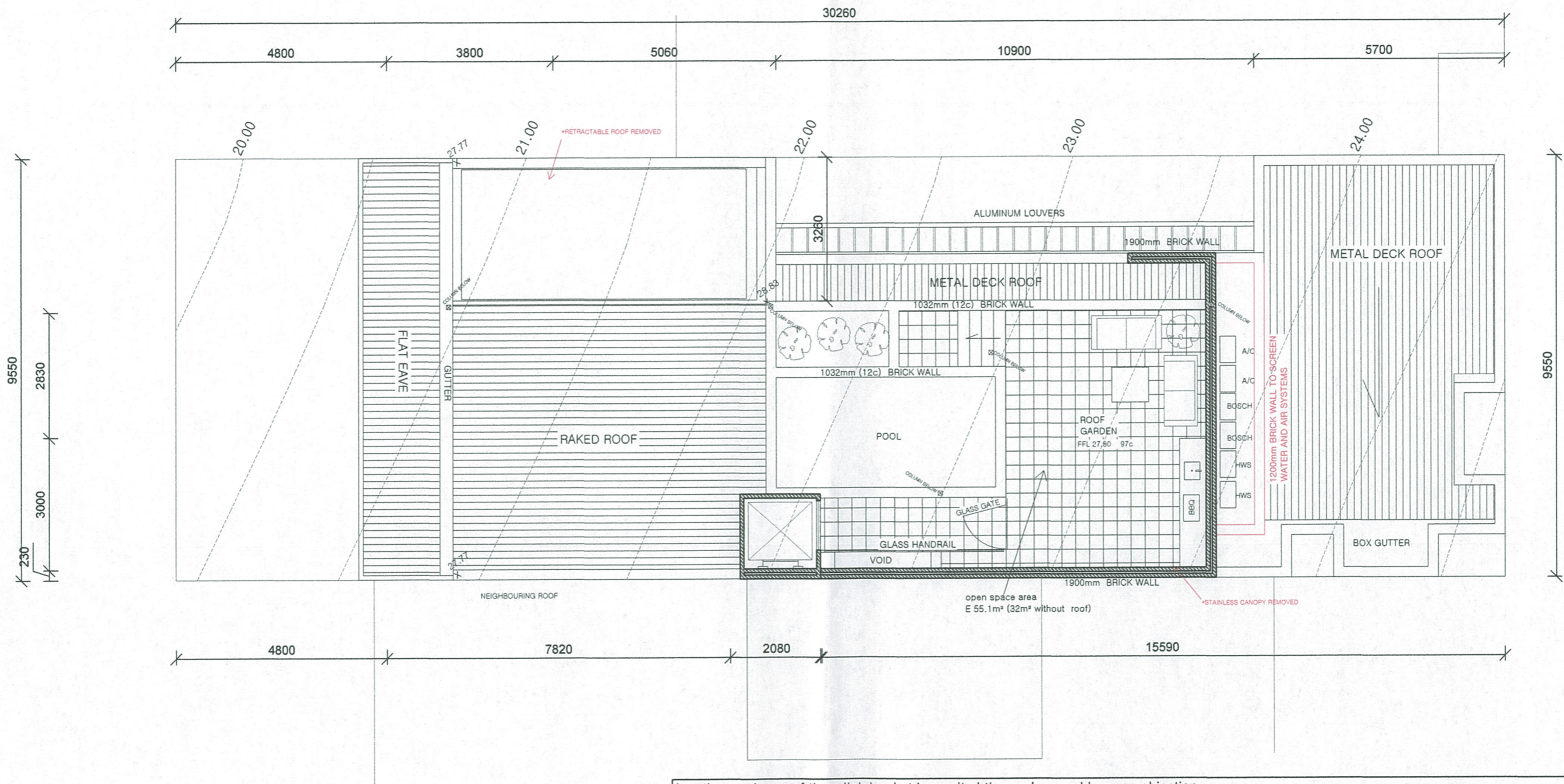
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N  SCALE : 1 : 100	CLIENT : <b>TERRY DUNLEA</b>	3 OF 8 <b>FIRST FLOOR</b>	 0419 136 484 2 DEANE STREET, COTTESLOE © COPYRIGHT
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 20 NOV 2014  
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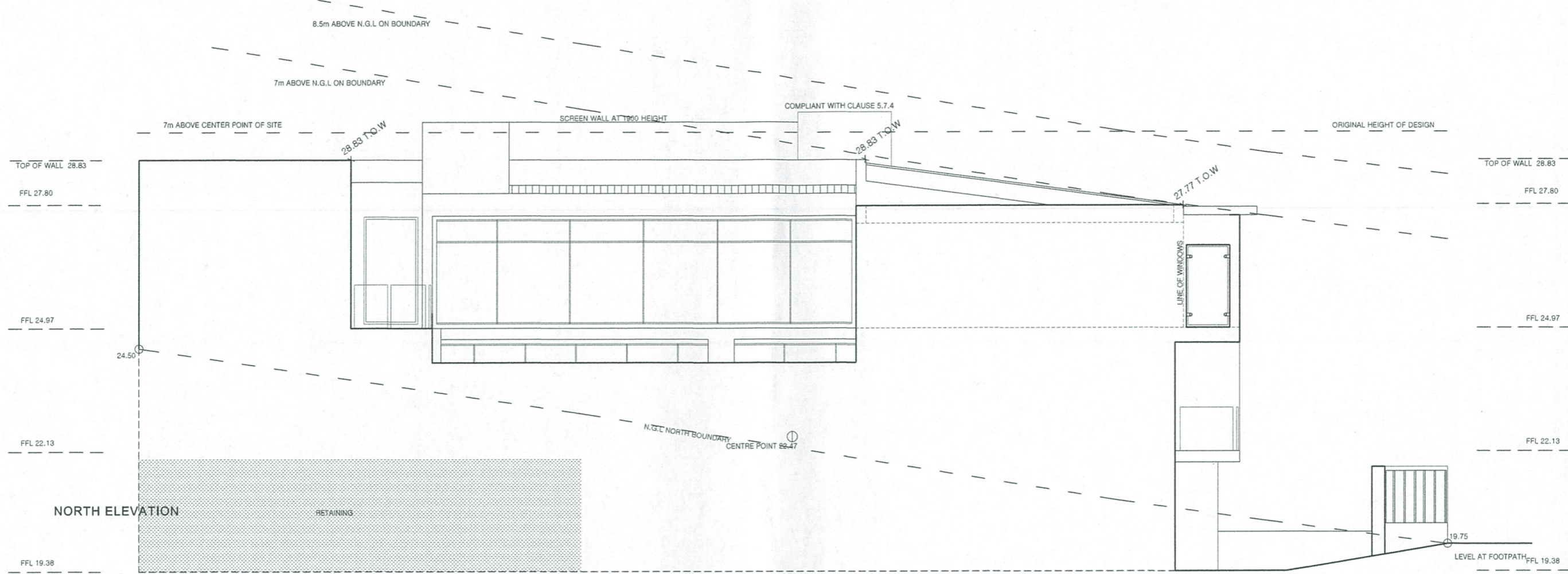


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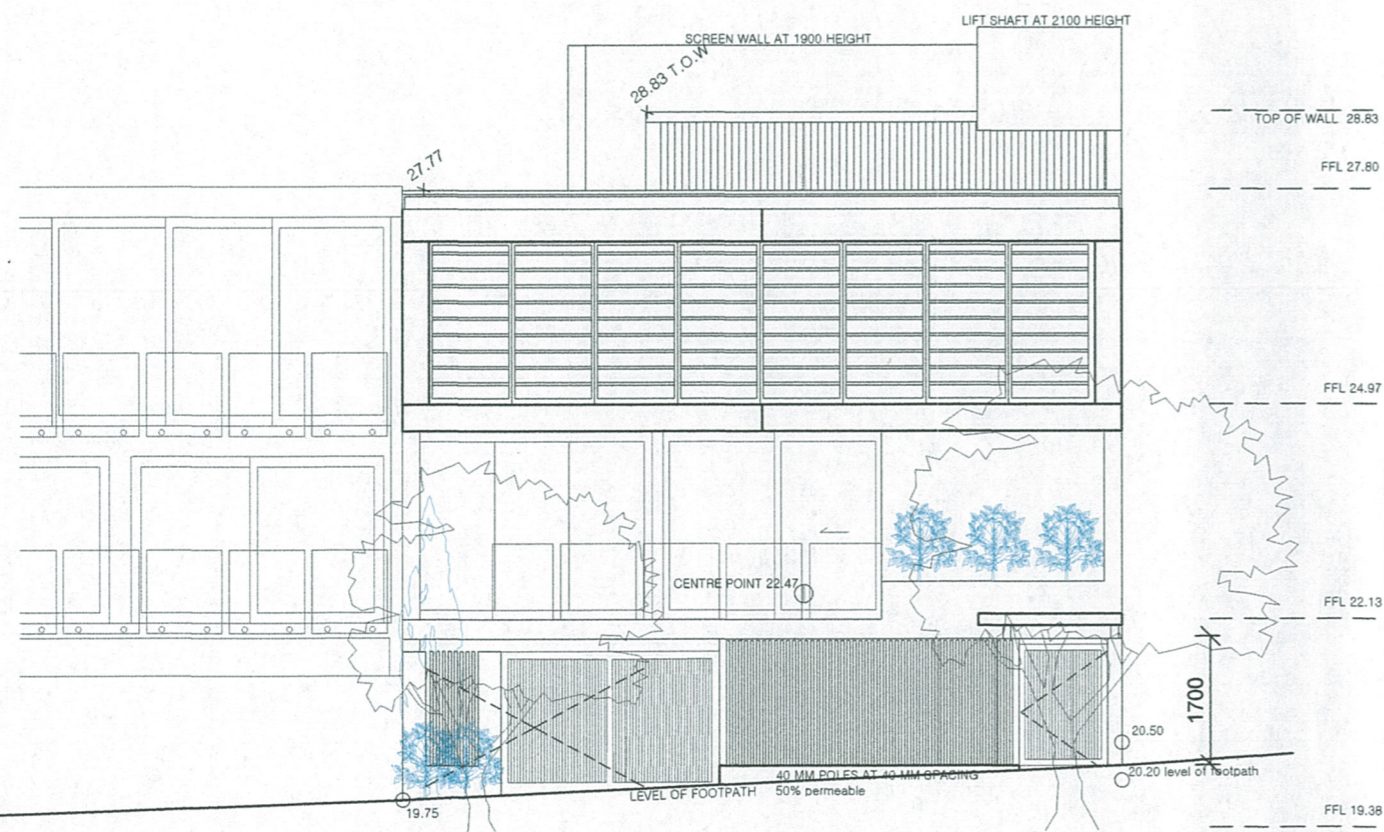
Purchaser of Lot A 30 Avonmore Tce: \_\_\_\_\_ Purchaser of Lot C 30 Avonmore Tce: \_\_\_\_\_ Purchaser of Lot D 28 Avonmore Tce: \_\_\_\_\_

N  SCALE : 1 : 100	CLIENT : <b>TERRY DUNLEA</b>	<b>4 OF 8</b> <b>ROOF GARDEN</b>	 0419 136 484 2 DEANE STREET, COTTESLOE © COPYRIGHT
	ADDRESS: <b>30 AVONMORE TERRACE - LOTB</b>	REVISION 10 19/11/2014	





NORTH ELEVATION



WEST ELEVATION

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20 NOV 2014  
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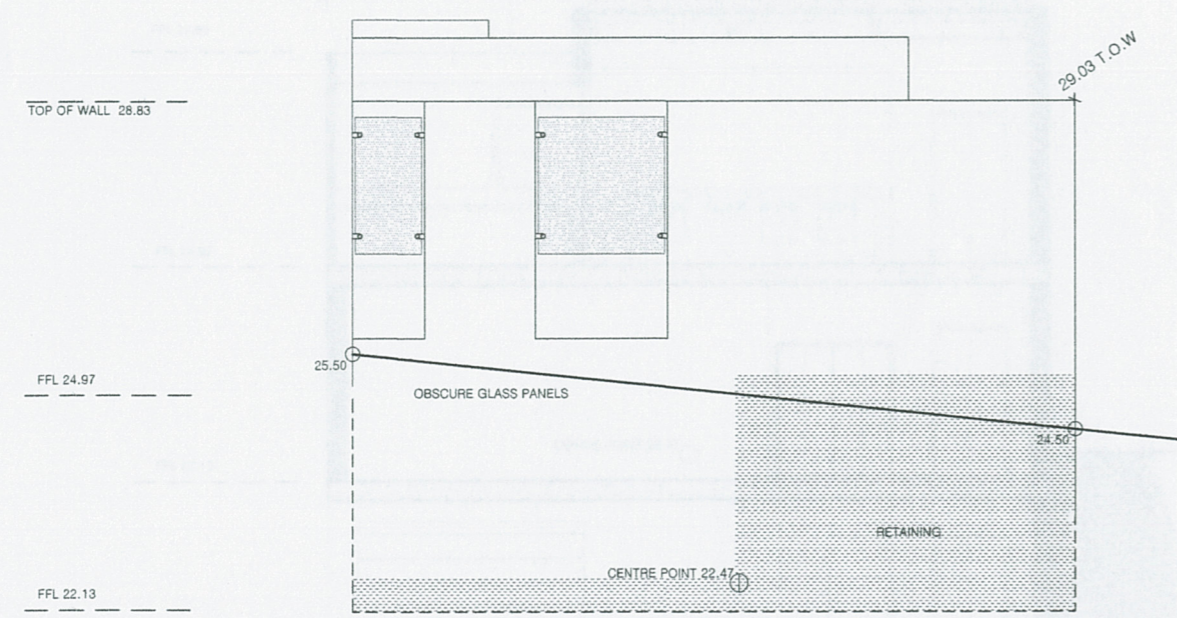
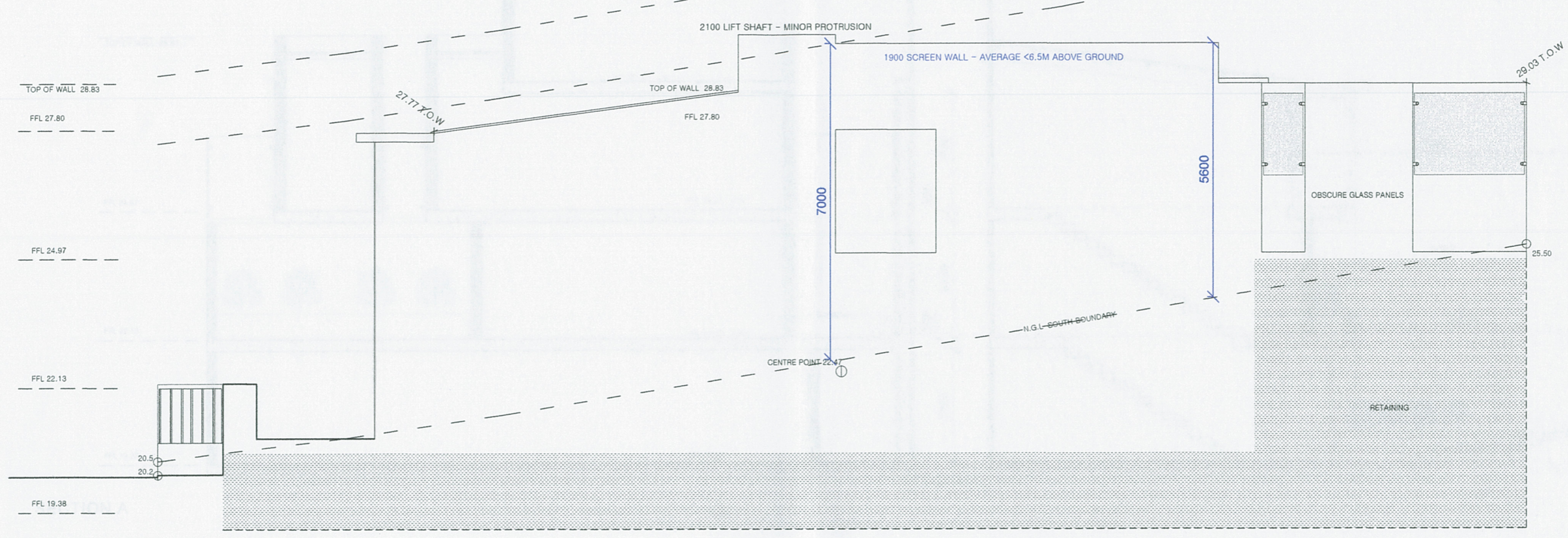
SCALE : 1 : 100	CLIENT : TERRY DUNLEA	5 OF 8 ELEVATIONS
	ADDRESS: 30 AVONMORE TERRACE - LOTB	REVISION 10 19/11/2014





N.G.L ON BOUNDARY + 8500


N.G.L ON BOUNDARY + 7000



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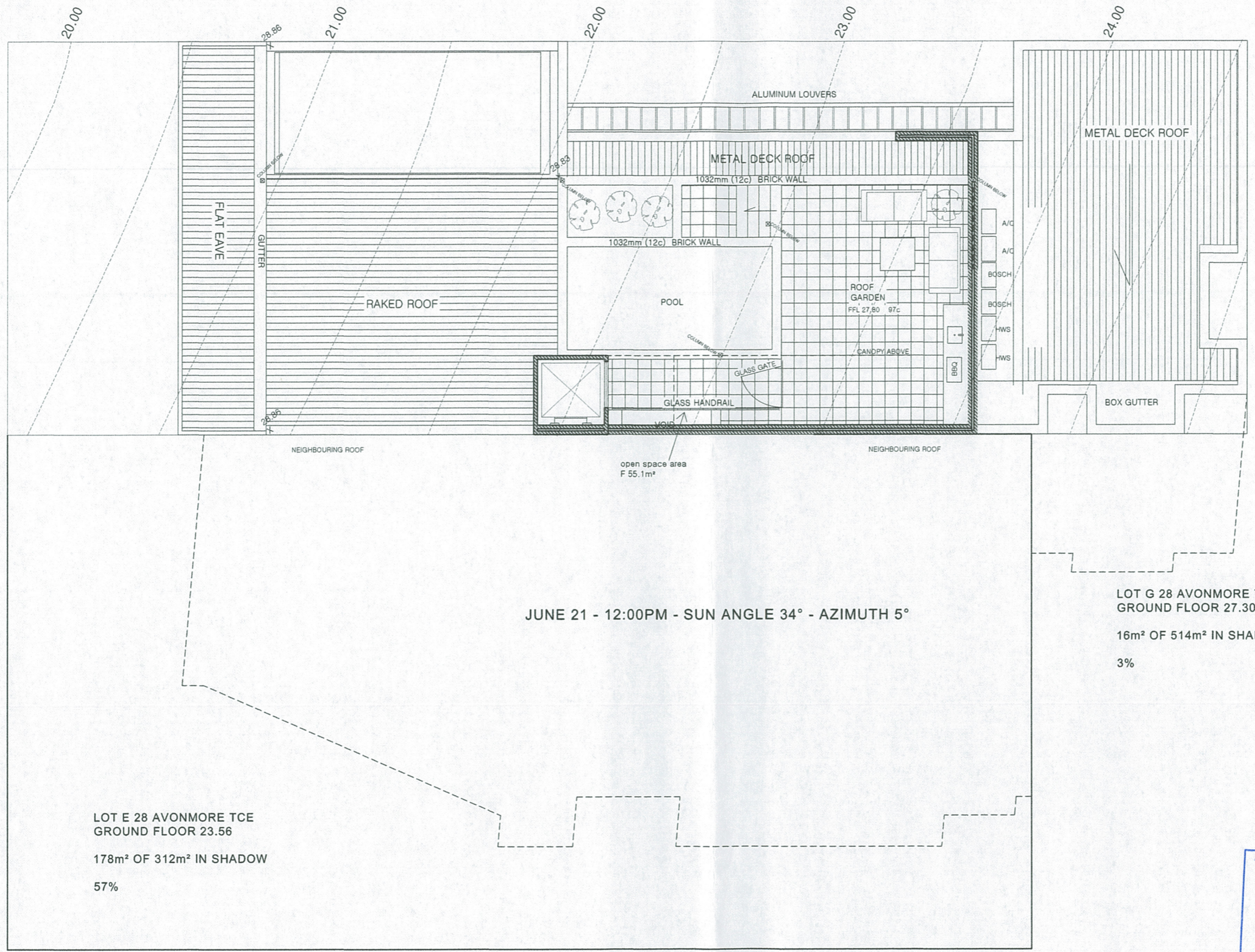
I as the purchaser of the adjoining Lot have sited these plans and have no objection.

Purchaser of Lot A 30 Avonmore Tce: \_\_\_\_\_ Purchaser of Lot C 30 Avonmore Tce: \_\_\_\_\_ Purchaser of Lot D 28 Avonmore Tce: \_\_\_\_\_

SCALE : 1 : 100	CLIENT : TERRY DUNLEA	6 OF 8 ELEVATIONS	 0419 136 484 2 DEANE STREET, COTTESLOE © COPYRIGHT
	ADDRESS: 30 AVONMORE TERRACE - LOTB	REVISION 10 19/11/2014	

SECTION B






LOT E 28 AVONMORE TCE  
 GROUND FLOOR 23.56  
 178m<sup>2</sup> OF 312m<sup>2</sup> IN SHADOW  
 57%

LOT G 28 AVONMORE TCE  
 GROUND FLOOR 27.30  
 16m<sup>2</sup> OF 514m<sup>2</sup> IN SHADOW  
 3%

JUNE 21 - 12:00PM - SUN ANGLE 34° - AZIMUTH 5°

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			SCALE : <b>1 : 100</b>	ADDRESS: <b>30 AVONMORE TERRACE - LOTB</b>	