

Slavin

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admin@slavinarch.com.au

By Email:

Mr Andrew Jackson  
Town of Cottesloe  
109 Broome Street  
Cottesloe WA 6011

RE: DEVELOPMENT APPLICATION  
No. 2 Deane Street, COTTESLOE 6011

Dear Andrew

On behalf of Mr Peter Lalor, of 82 Marine Parade, Cottesloe, we wish to make comment on the plans for the above development that we viewed on Thursday 11 October at the Council Chambers.

We have some concerns with this proposal and these are outlined below:

### 1. Overlooking

Overlooking from first floor balcony into 80A Marine Parade - does not comply with Clause 6.8.1-A1 (i) of the Residential Design Codes.

Overlooking from first floor balcony into 4 Deane Street - does not comply with Clause 6.8.1-A1 (i) of the Residential Design Codes.

## **2. Buildings on boundary**

The proposal has walls constructed on more than one boundary which does not comply with Clause 6.3.2-A2(iii) of the Residential Design Codes. Walls on boundaries can only be constructed on one boundary.  
(Please see Attachment 1)

## **3. Maximum wall height**

The wall height of the new proposal exceeds the 6m maximum wall height allowed under the Town Planning Scheme.

Figures 2a, 2b & 2c of the R-codes define wall heights) in accordance with the definition of Wall Heights on p. 5 of the Appendices of the Residential Design Codes.  
Figure 2b defines wall heights for curved roofs. (see Attachment 2)

The wall height (as defined by Figure 2b of the R-codes) is the pitching point of the curved roof which, in the case of the proposal, is the top of the concrete upstand that previously formed the edge of the rooftop pool.

The top of the upstand is higher than the permitted 6m above natural ground level allowed under the Town Planning Scheme.

## **4. Design of parking spaces and vehicular access**

The proposed carparking spaces and driveways do not comply with Australian Standard AS 2890.1 in accordance with Clause 6.5.3 A3.2 and Clause 6.5.4 A4.2 of the Residential Design Codes.

Clause 2.1.3 of the Residential Design Codes requires all residential development to comply with these requirements of the codes. This development proposal should not be approved until the applicant provides planning compliance with these requirements.

Please see Attachment 3.

E-mail Message

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**From:** Baldo Lucaroni [SMTP:baldo@westnet.com.au]  
**To:** council [EX:/O=TOWN OF  
COTTESLOE/OU=COTTESLOE/CN=RECIPIENTS/CN=COUNCIL]  
**Cc:**  
**Sent:** 17/10/2012 at 9:13 PM  
**Received:** 17/10/2012 at 9:13 PM  
**Subject:** Objections to 2 Deane St.

---

Dear Sir

I refer to the development application lodged for a dwelling at 2 Deane St.

My objections are as follows:

1. The development will result in privacy and overlooking issues for my property
2. This includes my rear courtyard, possible kitchen area and general amenity of the back area of my house
3. It looks like there are no setbacks from boundaries particularly on the west side and that are not in accordance with requirements.

Has the applicant withdrawn his previous application with a third floor and pools ?

thank you,

Baldo Lucaroni

Owner resident

80 Marine Pde.

Cottesloe

9384 7877

17 October 2012

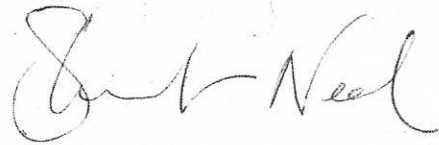
## 5. Other Issues

Section AA is not a correct representation through the building. The section does not show the flat roof behind the parapet (as shown on the roof plan)

Dimension strings on the floor plans do not correspond with wall lengths.

If you have any further concerns, please contact either Murray or myself.

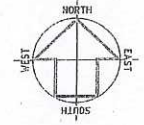
Yours sincerely

A handwritten signature in black ink, appearing to read "Stuart Neal". The signature is written in a cursive, slightly slanted style.

Stuart Neal  
DIRECTOR

16 October 2012

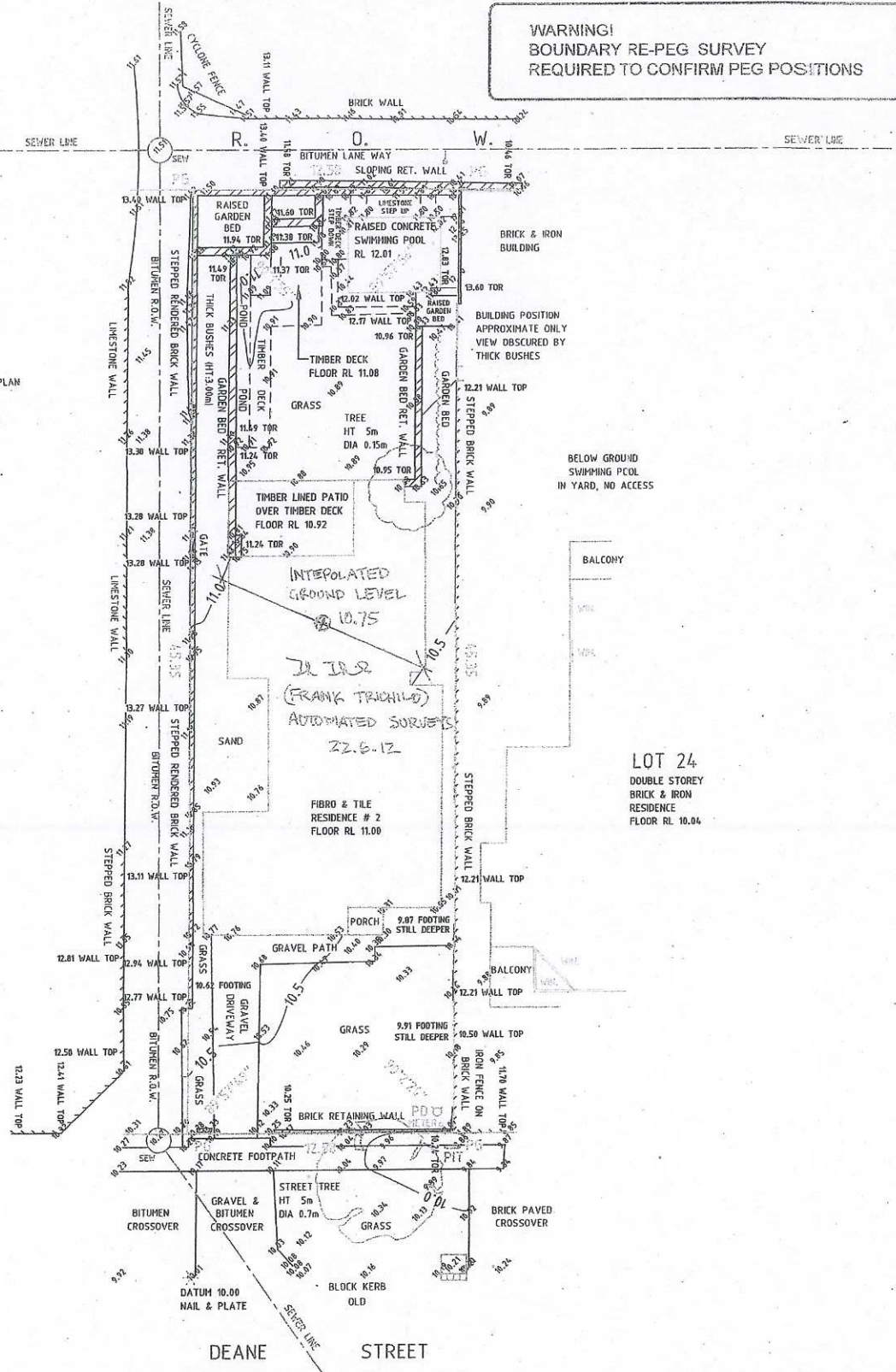
WARNING!  
BOUNDARY RE-PEG SURVEY  
REQUIRED TO CONFIRM PEG POSITIONS



LOT 25  
569sqm  
SANDY

NOTE: BOUNDARY POSITION AS PER ALIGNMENT REQUIRES REPEG SURVEY  
NOTE: APPROXIMATELY 0.1 Km FROM COAST LINE

NOTE: SUBTRACT 0.33 FROM ALL LEVELS ON PLAN TO OBTAIN APPROXIMATE A.H.D. LEVELS. THIS VALUE DERIVED FROM WATER CORP. AS CONSTRUCTED RECORDS & MAY NOT BE EXACT. AN A.H.D. SURVEY IS REQUIRED TO OBTAIN AN ACCURATE VALUE.



SEW CONN POSITION APPROXIMATE ONLY  
SEW INV. 6.12  
UP. 1.2  
DEPTH. 3.11m

CLIENT OCEANSIDE HOMES	BUILDER OCEANSIDE HOMES	SCALE BAR	DRAFTED M.R.	SURVEYOR V.J.
LOT 25 DEANE STREET	AUTHORITY COTTESLOE	SERVICE INFORMATION		
SUBURB COTTESLOE	MAP REF. 400 13 37	GAS BTC	WATER YES	PRELAIN
PLAN 2367	G/T Vol.Pol. 1842 / 888	AREA ESTABLISHED	TELSTRA YES	POWER D/H BTC
DATE OF SURVEY 07.06.12	SCALE 1:200	WATER STOP VALVE	HYDRANT	FLUSH POINT
JOB No. OURS: 171054	YOURS: OCEANSIDE	SEWERAGE	SEW SEWER MANHOLE	INSPECTION SHAFT
		POWER	CONSUMER POLE	POWER POLE
		STORMWATER	SW MANHOLE	GRATE
		SURVEY	PEG FOUND	PEG DISTURBED

**AUTOMATED SURVEYS PTY LTD**  
LICENSED SURVEYORS AND DEVELOPMENT CONSULTANTS  
3 Ord Street West Perth W.A. 6005  
P.O. Box 1848 West Perth W.A. 6002  
Telephone: +61 (0) 8214 1777  
Facsimile: +61 (0) 8214 1776

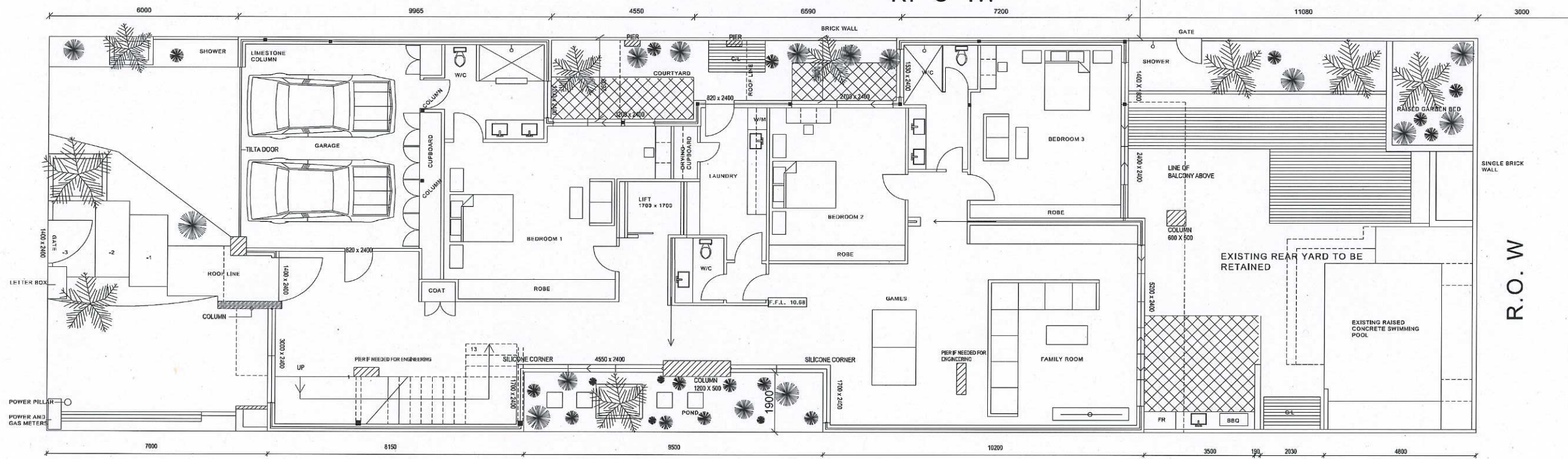
The information on this drawing is current as at the date of survey. Sections are to be confirmed with relevant authorities. This includes without limitation: Services, Water Supply, Drainage, Power, Supply, Gas Supply & Communications. Further interests / notifications / encumbrances may be listed on the Certificate of Title. Location of boundary in relation to houses or boundary markers is not guaranteed. Boundary is placed arbitrarily as per 'best fit'. Repeg Survey will be required. Copyright 2009 Automated Surveys Pty Ltd. All rights reserved.

2 OCT 2012

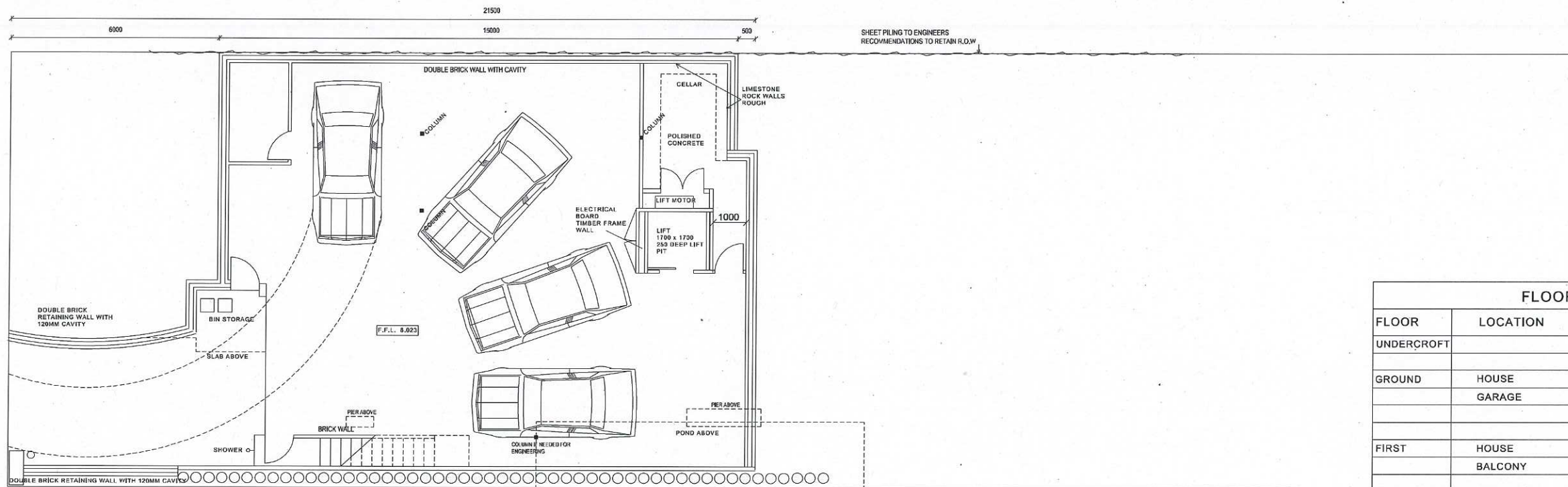
LOT 24  
DOUBLE STOREY  
BRICK & IRON  
RESIDENCE  
FLOOR RL 10.04



R.O.W



GROUND FLOOR PLAN  
1:100



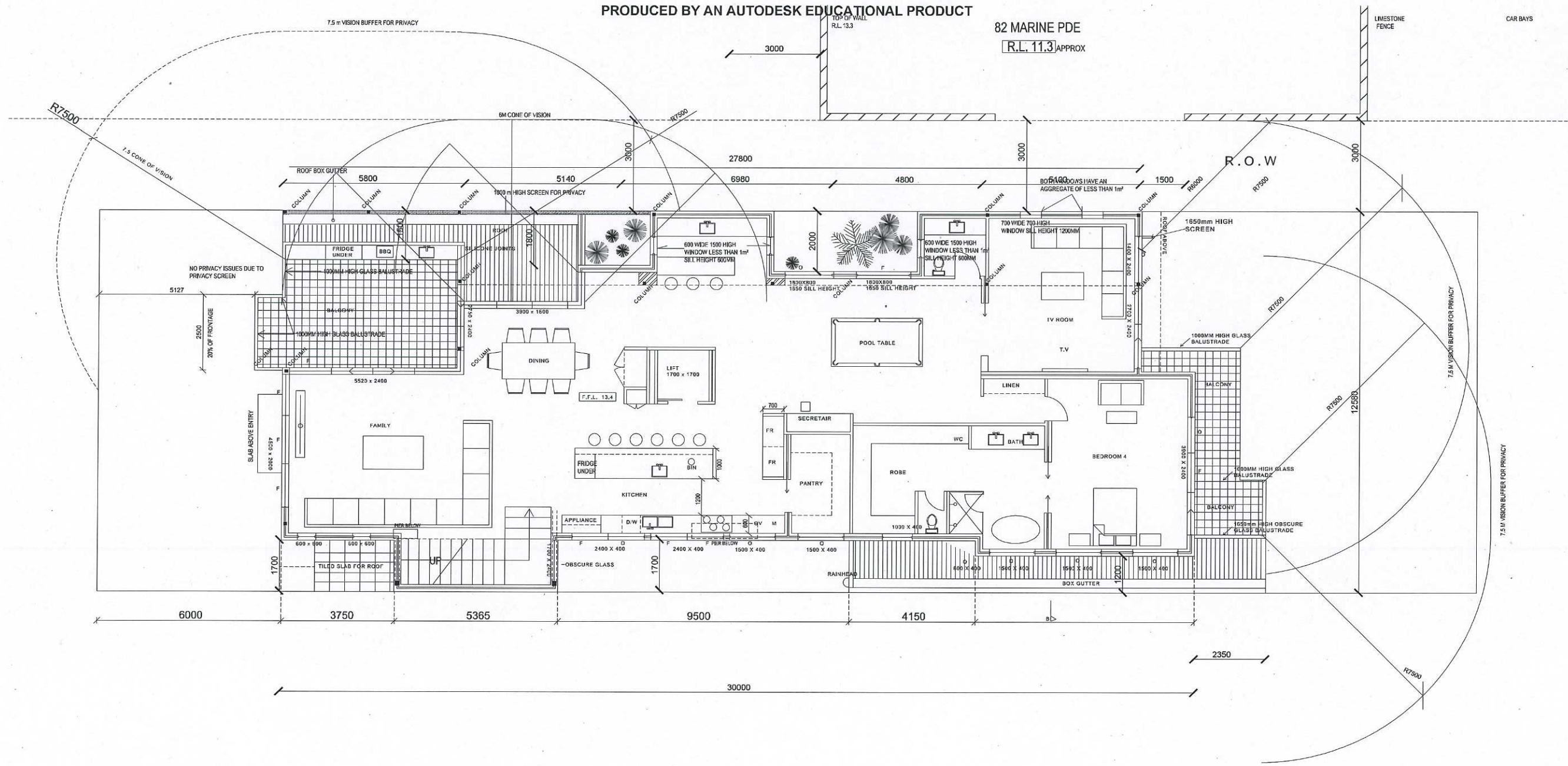
BASEMENT FLOOR PLAN  
1:100

FLOOR AREAS			
FLOOR	LOCATION	AREA (m <sup>2</sup> )	PERIMETER (mm)
UNDERCROFT		183.31 m <sup>2</sup>	57870.0 mm
GROUND	HOUSE	240	98809.80
	GARAGE	37	24500.0
		278 m <sup>2</sup>	123309.8 mm
FIRST	HOUSE	279.49	91057.0
	BALCONY	24.67	20740.0
		304.16 m <sup>2</sup>	111797.0 mm
		765.47 m <sup>2</sup>	
SITE AREA :		570.503 m <sup>2</sup>	
SITE COVER :		48% (SITE COVER EXCLUDING GARAGE 42%)	

<small>NOTES:</small> ALL DIMENSIONS REFER TO DIMENSIONS, DO NOT SCALE DIRECTLY FROM DRAWINGS. ANY DISCREPANCY SHOULD BE REFERRED TO THE BUILDING SURVEYOR BEFORE PROCEEDING. IT IS THE RESPONSIBILITY OF THE CLIENT TO ENSURE ALL DRAWINGS ARE APPROVED BY LEGAL AUTHORITY BEFORE ANY CHANGES ARE MADE.	CLIENT : <b>HENRIETTE STEWART</b>	PAGES : 1 OF 7	<b>OCEANSIDE HOMES</b>  A: 45 BOSCOMBE AVE, CITY BEACH M: 0424 438 344 © COPYRIGHT
	ADDRESS: 2 DEANE ST COTTESLOE	SCALE : 1 : 100	

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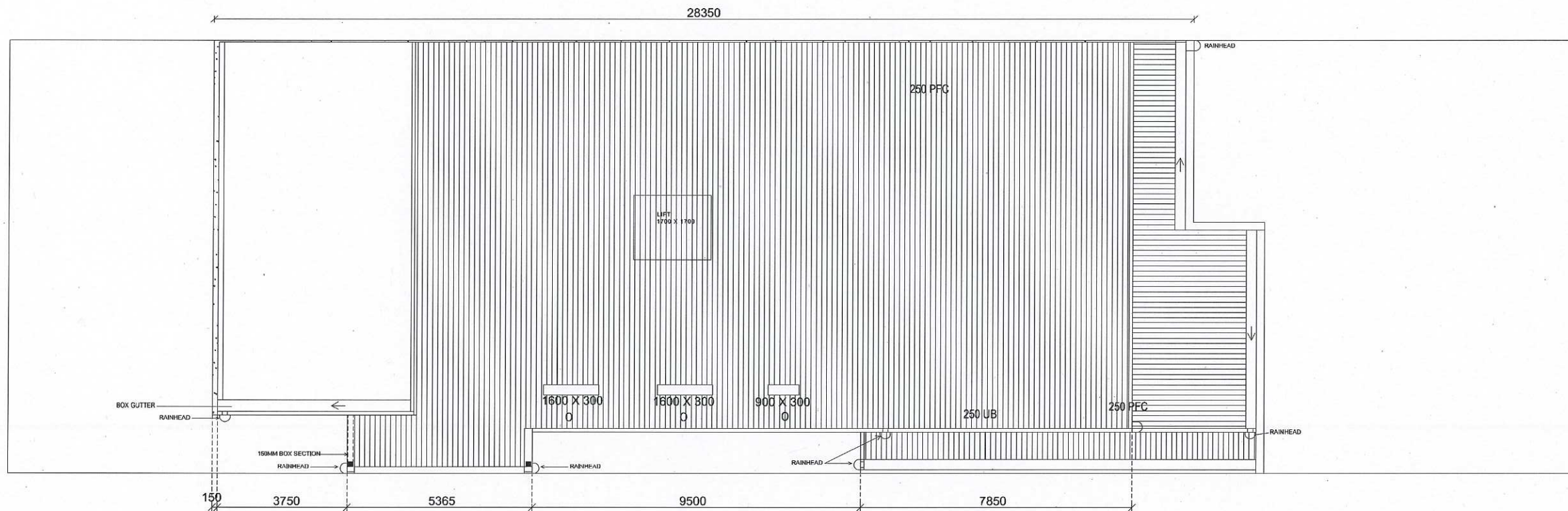


FIRST FLOOR PLAN  
1:100

FLOOR AREAS			
FLOOR	LOCATION	AREA (m <sup>2</sup> )	PERIMETER (mm)
UNDERCROFT		183.31 m <sup>2</sup>	57870.0 mm
GROUND	HOUSE	240	98809.80
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	BALCONY	24.67	20740.0
		304.16 m <sup>2</sup>	111797.0 mm
		765.47 m <sup>2</sup>	
SITE AREA :		570.503 m <sup>2</sup>	
SITE COVER :		48% (SITE COVER EXCLUDING GARAGE 42%)	

<small>NOTES:</small> FILTERS MUST REFER TO DIMENSIONS. DO NOT SCALE DIRECTLY FROM DRAWING. ANY DISCREPANCY MUST BE REFERRED TO THE BUILDING SURVEYOR BEFORE PROCEEDING. IT IS THE RESPONSIBILITY OF THE OWNER TO ENSURE ALL DIMENSIONS ARE APPROVED BY LOCAL AUTHORITY BEFORE ANY CONSTRUCTION BEGINS.	CLIENT : <b>HENRIETTE STEWART</b>	PAGES : 2 OF 7	OCEANSIDE HOMES A: 45 BOSCOMBE AVE. CITY BEACH M: 0424 438 344 © COPY RIGHT
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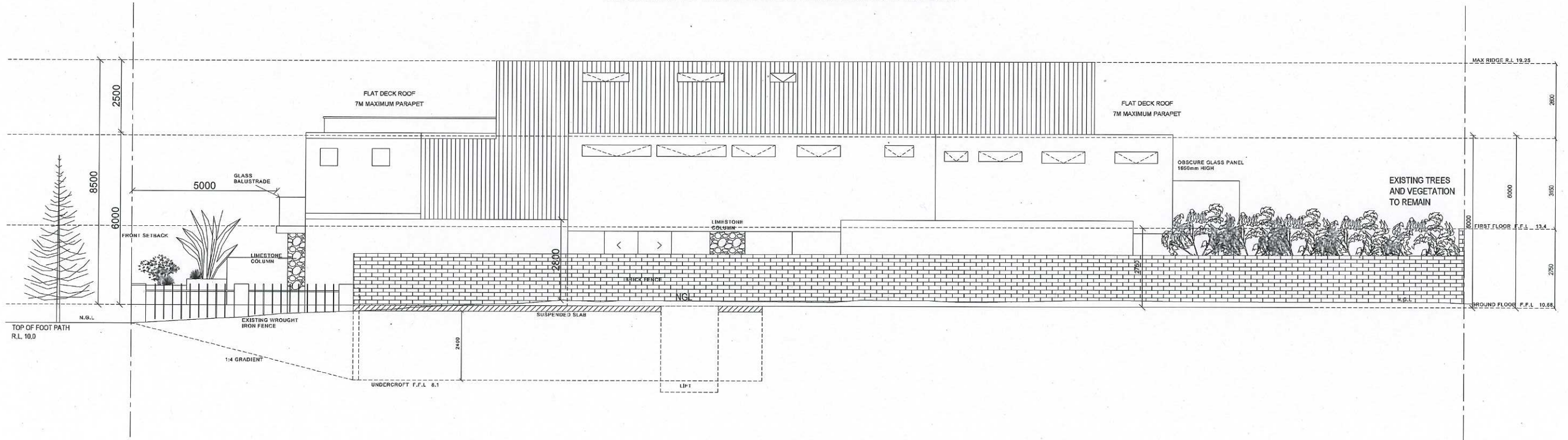




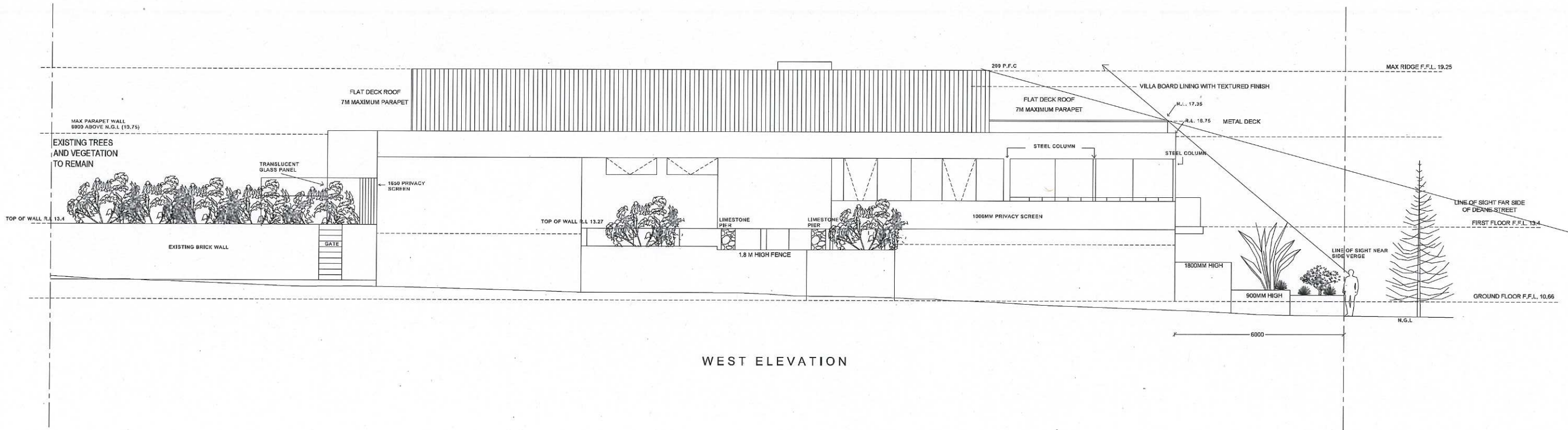
ROOF PLAN  
1:100

FLOOR AREAS			
FLOOR	LOCATION	AREA (m <sup>2</sup> )	PERIMETER (mm)
UNDERCROFT		183.31 m <sup>2</sup>	57870.0 mm
GROUND	HOUSE	240	98809.80
	GARAGE	37	24500.0
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		304.16 m <sup>2</sup>	111797.0 mm
		765.47 m <sup>2</sup>	
SITE AREA :		570.503 m <sup>2</sup>	
SITE COVER :		48% (SITE COVER EXCLUDING GARAGE 42%)	

<small>NOTES:</small> ALL TRADES MUST REFER TO DIMENSIONS. DO NOT SCALE DIRECTLY FROM DRAWINGS. ANY DISCREPANCY MUST BE REFERRED TO THE BUILDING SUPERVISOR BEFORE PROCEEDING. IT IS THE RESPONSIBILITY OF THE DRAWER TO ENSURE ALL DRAWINGS ARE APPROVED BY LOCAL AUTHORITY BEFORE ANY CHANGES ARE MADE.	CLIENT : HENRIETTE STEWART	PAGES : 3 OF 7	OCEANSIDE HOMES A: 45 HOSGOMBE AVE., CITY BEACH M: 0124 438 314 © COPYRIGHT
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EAST ELEVATION

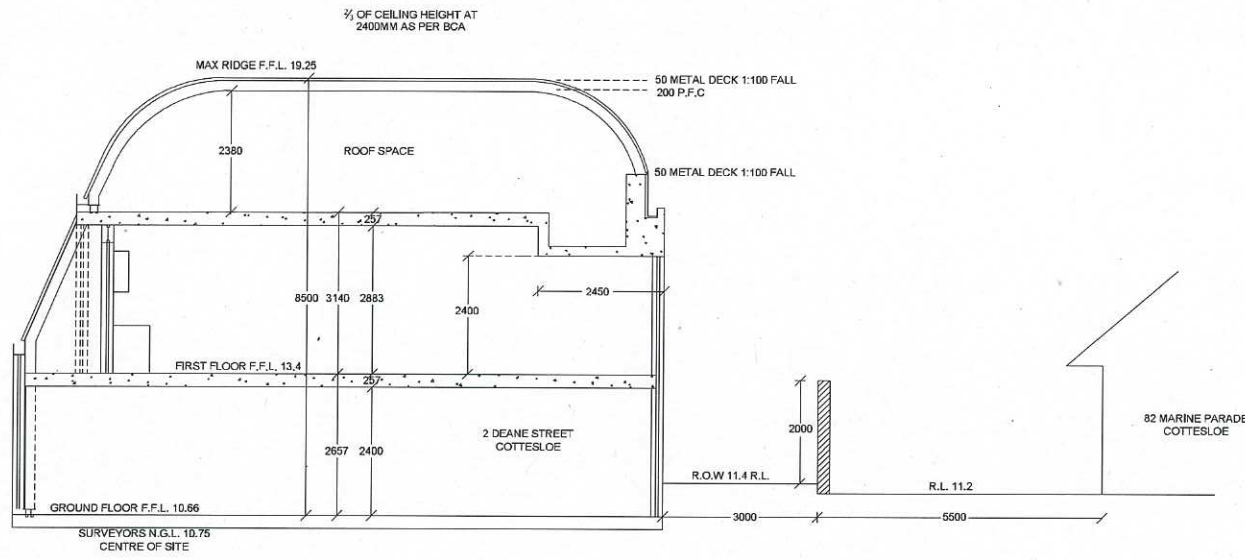


WEST ELEVATION

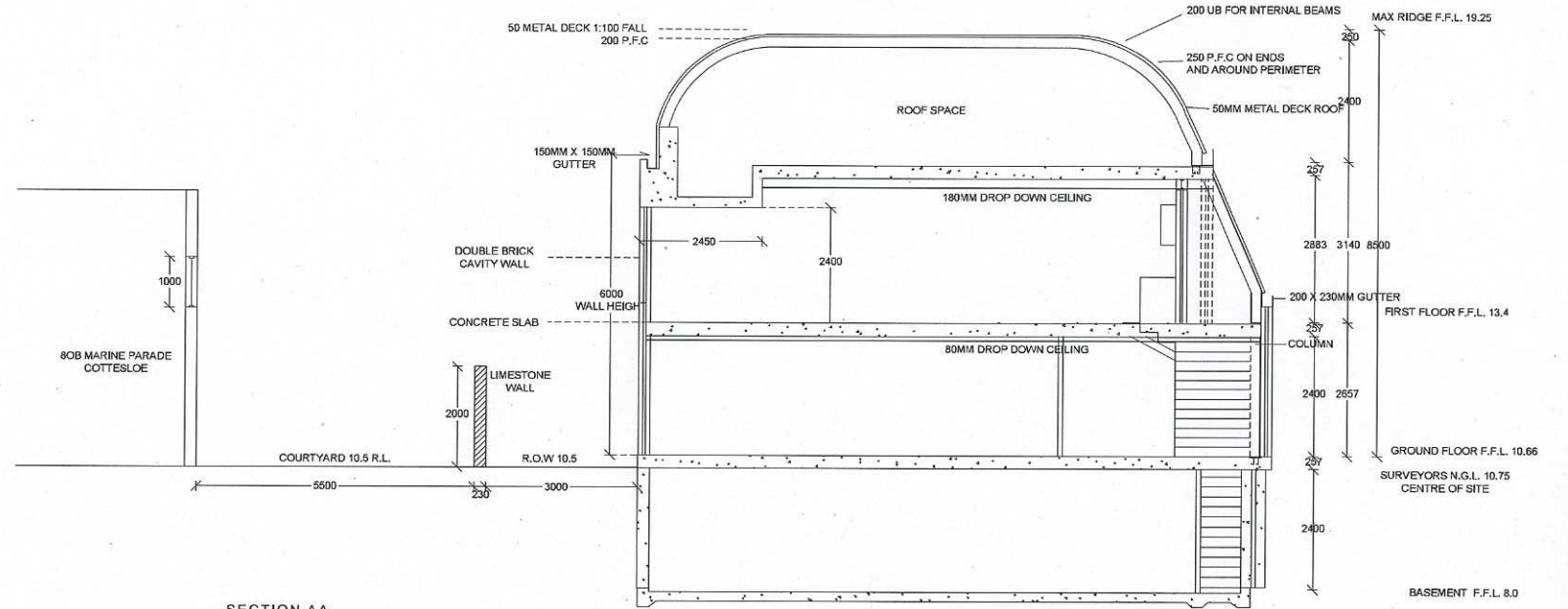
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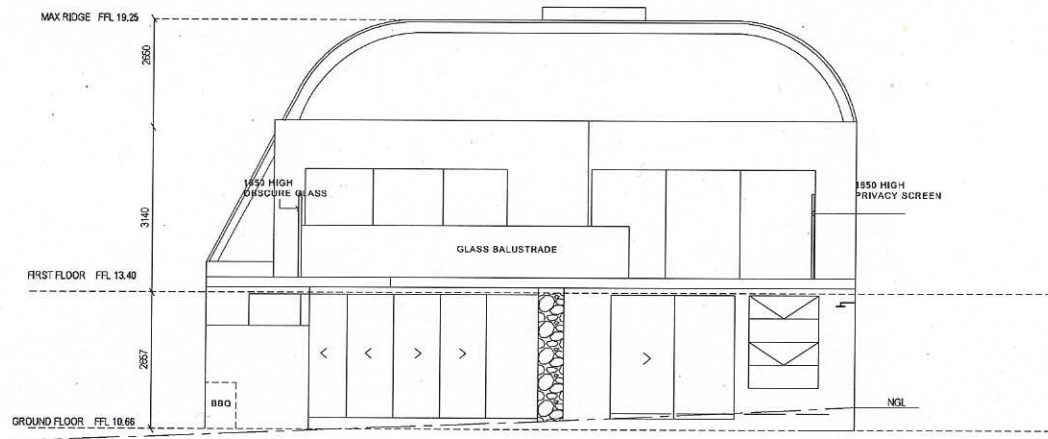
<p>NOTES:</p> <p>ALL TRADES MUST REFER TO CONDITIONS. DO NOT SCALE DIRECTLY FROM DRAWING. ANY DISCREPANCY MUST BE REFERRED TO THE BUILDING SUPERVISOR BEFORE PROCEEDING.</p> <p>IT IS THE RESPONSIBILITY OF THE OWNER TO ENSURE ALL DRAWINGS ARE APPROVED BY LEGAL AUTHORITY BEFORE ANY CHANGES ARE MADE.</p>	<p>CLIENT :</p> <p>HENRIETTE STEWART</p>	<p>PAGES :</p> <p>4 OF 7</p>	<p>OCEANSIDE HOMES</p> <p>A: 45 BOSCOMBE AVE, CITY BEACH M: 0424 438 344</p> <p>©COPYRIGHT</p>
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<p>REVISION 7 27/09/2012</p>			



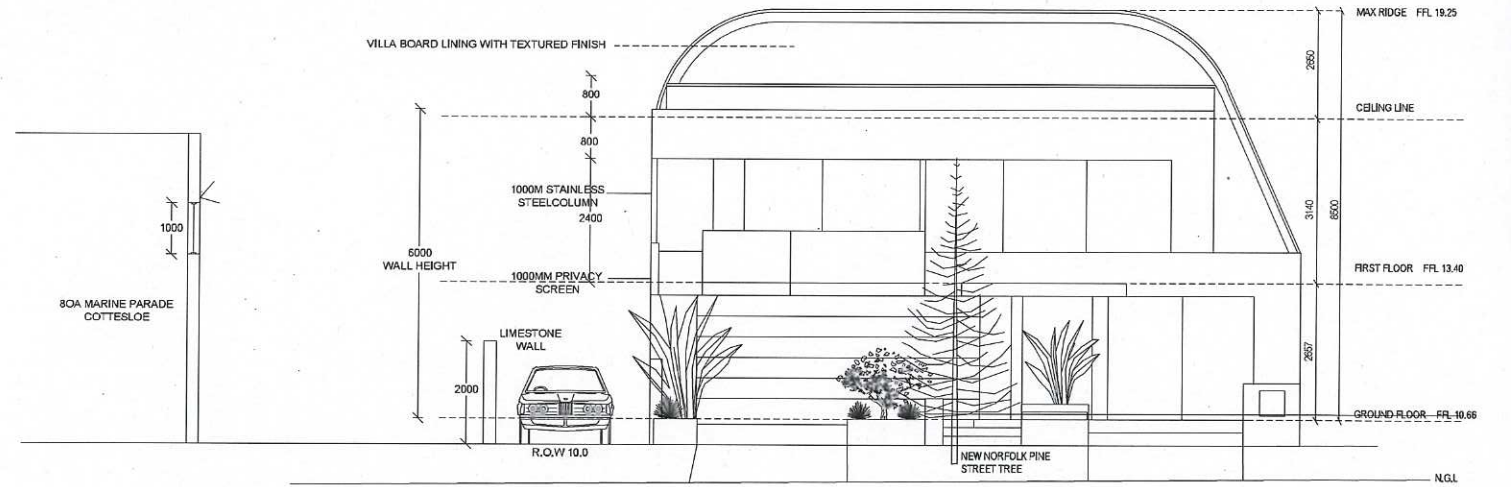
SECTION BB  
1:100



SECTION AA  
1:100



NORTH ELEVATION  
1:100

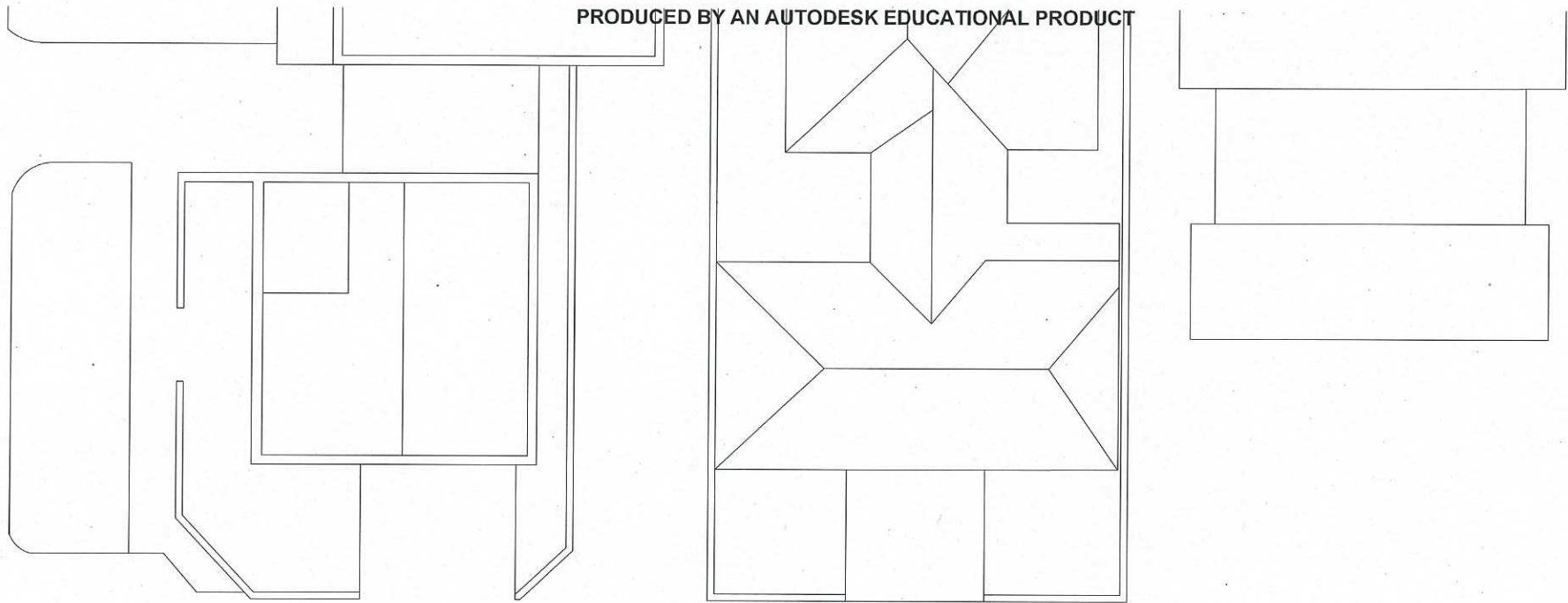


SOUTH ELEVATION  
1:100

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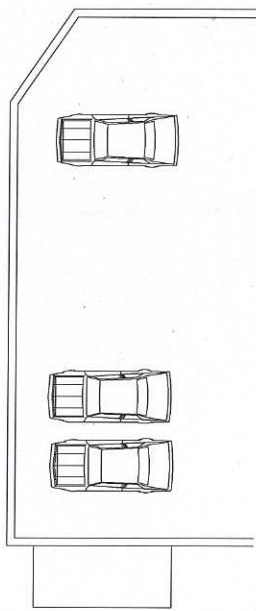
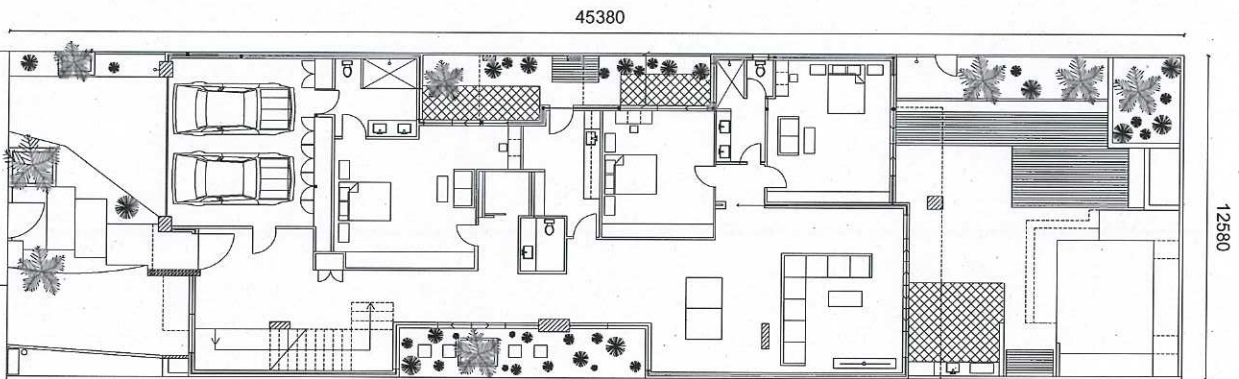
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SITE / GROUND FLOOR PLAN  
1:200

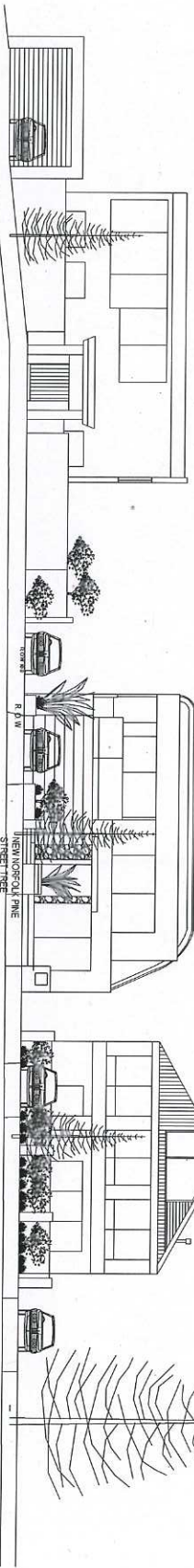
DEANE STREET

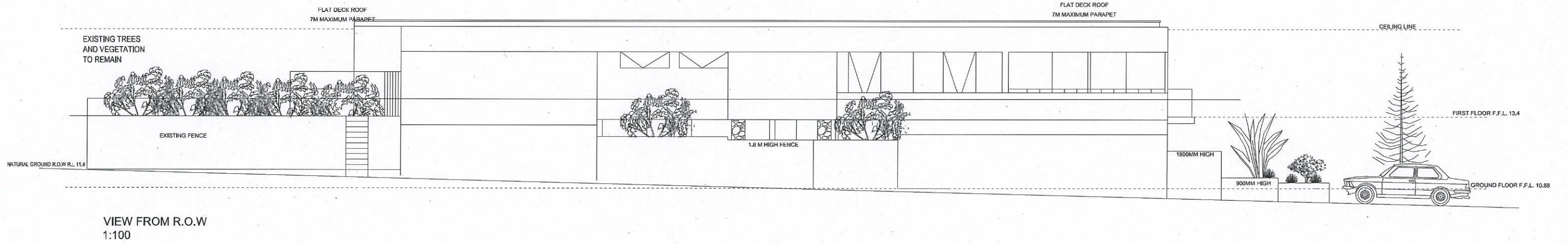


FLOOR AREAS			
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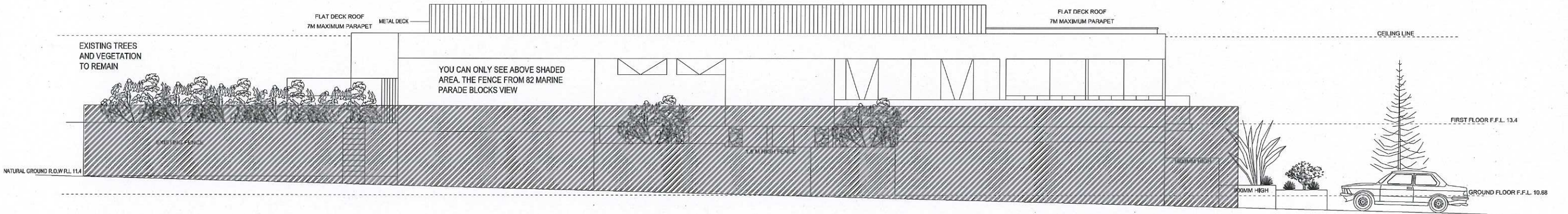
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ADDRESS: 2 DEANE ST COTTESLOE	SCALE : 1 : 200		
REVISION 7 27/09/2012			

STREETSCAPE SOUTH ELEVATION  
VIEW FROM FOOTPATH FAR SIDE OF DEANE STREET





VIEW FROM R.O.W  
1:100



VIEW FROM REAR COURTYARD OF 82 MARINE PARADE  
1:100

YOU CAN ONLY SEE ABOVE SHADED AREA. THE FENCE FROM 82 MARINE PARADE BLOCKS VIEW

<p>NOTES:</p> <p>ALL FRAMES MUST BE IN 100% COMPLIANCE WITH LOCAL BUILDING REGULATIONS. ANY DISCREPANCIES MUST BE REFERRED TO THE BUILDING SUPERVISOR BEFORE PROCEEDING.</p> <p>IT IS THE RESPONSIBILITY OF THE OWNER TO OBTAIN ALL NECESSARY APPROVALS FROM THE LOCAL AUTHORITY BEFORE ANY COMMENCEMENT OF WORK.</p>	<p>CLIENT : HENRIETTE STEWART</p>	<p>PAGES : 7 OF 7</p>	<p>OCEANSIDE HOMES</p> <p>A: 45 BOSCOMBE AVE, CITY BEACH M: 0424 438 344</p> <p>© COPYRIGHT</p>
	<p>ADDRESS: 2 DEANE ST COTTESLOE</p>	<p>SCALE : 1 : 100</p> <p style="text-align: center;">N</p>	
<p>REVISION 7 27/09/2012</p>			