



**48 FORREST ST COTTESLOE
DEVELOPMENT APPLICATION SUBMISSION
ARCHITECTURAL REPORT**

Revision 01 – 31 October 2012

48 FORREST ST COTTESLOE – ARCHITECTURAL REPORT

INTRODUCTION

The following report applicable to the proposed alterations and additions to the existing house at 48 Forrest Street Cottesloe (Lot 92 and Lot 500), has been compiled at the request of Andrew Jackson, *Manager Development Services* at the Town of Cottesloe to assist in the assessment of the Development Approval Application.

This report is issued as additional supporting information to the base Development Application submission lodged with the Town of Cottesloe on 22 October 2012. The report is divided into the following three sections;

1. Architectural Statement
2. Site Development Criteria
3. Heritage Impact Statement

1. ARCHITECTURAL STATEMENT

CLIENT BRIEF

The Client instruction was to preserve the existing heritage elements of the residence which are composed of the southern single storey portion made up of the external colonnade / entablature, the existing Master Bedroom and Ensuite / Robe areas, and the Formal Living Room and Sitting Room on the south-west (refer Heritage Assessment report). The existing 2008 extensions are to be demolished including the post 1977 separate accommodation building in the north-east corner of the site.

The proposed building footprint is to allow for a north facing courtyard to improve the solar penetration to the building and landscaped settings to the perimeter of the house to create entertainment and children's garden play areas.

The proposed new accommodation (in addition to the existing rooms) provides the following;

Basement Floor

- Parking for 4 cars
- Gymnasium
- Laundry, Linen and Drying rooms
- Cellar
- Bin Store
- Bike Store
- Sports goods storage area
- General storage (Store 01 and Store 02)
- Plantroom
- Lift to ground floor

Ground Floor

- Kitchen
- B.O.H. Kitchen, Cool Room and Dry Store
- Study (Children's)
- Lift to basement
- Meals area
- Dining Room
- Living Room

First Floor (within existing roof height and structure)

- Bedrooms 2, 3 and 4 (Children) with Ensuite bathrooms
- Guest Room 1 and 2 (share Bathroom)
- Rumpus Room
- Linen Cupboards
- Storage (in roof void)

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ARCHITECTURAL RESPONSE TO THE BRIEF

The client requested that no new works be visible from the south-east corner so consequently the new building works sit to the north of the existing heritage elements and up to 7.0m from the northern boundary. The footprint of the basement sits below this and is entered by the existing crossover from Broome Street adjacent to Doscas Lane.

The datum of the existing roof ridge (RL 39.510) has been utilised to establish the roof height of the proposed new additions with the bedrooms having sloping walls as they interface back into the existing 'roofscape' void. This proposition is designed to reduce the visual impact of the new works.

The elevation to Broome Street comprises of a mix of the old and the new - firstly there is the existing colonnade / entablature; then follows the recent 2008 additions to the Kitchen with a gable roof form; this is then repeated at the north-west end to accommodate the Kitchen and the new pedestrian entry to the house. The overall composition seeks to complete a harmonious streetscape of old and new. The vehicle entry ramp is protected by low pedestrian walls which are covered in wall climbing creepers. This creates a safe and inviting composition and removes the unsightly existing parapet wall to the boundary of Doscas Lane whilst reestablishing the streetscape setbacks lost following the 2008 works.

The new additions are contained within roof form and façade elements that seek to minimise their bulk in relation to the existing building. Window openings are a series of scaled elements of varying shapes and sizes that are carefully arranged and proportioned over the two facades providing a natural organic composition.

The new facades make reference to the historic Cottesloe beach houses that have an evolving history of being carefully considered and proportioned to form an addition that provides a quality commensurate with the original buildings. This type of naturally evolved additions included rooms such as enclosed sleepouts, laundries, outdoor kitchens and covered outdoor entertainment areas.

HERITAGE INTEGRATION

Internal – New to Old Interface

The planning of the ground floor for the new northern element is essentially one large living space that connects the existing plan consisting of two 'wings' divided by a central corridor into a single room that will be the centre of activity. This new room connects the garden from the north, west and east together and allows the occupants to experience the daily changes of the weather and outside activities such as greeting people as they arrive from the street, having a private lunch in the northern garden or watching the children play in the swimming pool area.

The upper level is all resolved within the parameters of the existing building roof space. The stair and the Rumpus Room will be the active areas and physically and visually connect to the outside landscaped gardens. The bedrooms are each accessed from the top lit gallery and will have sloping ceilings similar to that of a traditional beach side cottage.

External – New to Old Interface

The roof will be reclad in a profiled sheet metal pan that will unify the roof as a single element and recreate a traditional roof material from buildings of this type and age that will allow the old and new to blend together reinforcing the minimal elevational impact that the new works will have on the existing 'roofscape'.

The southern elevation is virtually unchanged - to the west the concept is to repeat the small gable roof forms of the 2008 addition in a further gable to the northern end of Doscas Lane. This will appear as a contiguous and seamless extension of the old and new. To the east, an elevation that is not seen from either street frontage, the client has instructed a more contemporary expression that blends with the heritage requirements to express the old and the new differently.

The upper level bedrooms are housed within gabled end forms that align with the Bedroom and Ensuite dividing walls below. The Rumpus Room projects over the ground floor plan below to provide sunshade to the outdoor area below. The rumpus room continues the gable theme and has larger windows to visually connect with the garden and pool areas.

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The northern elevation has been reduced in scale with the use of a series of small pitched gable ends that characterise each bedroom with their own roof form. A variety of different scale and shape windows are arranged along this facade to create variety and interest from both the inside and outside. The concept is to create a ‘rambling’ effect of light-weight additions that were commonly found at the rear of similar grand historic homes with the use of traditionally housed ancillary spaces such as laundries, sleep-outs and kitchens which is similar to the uses proposed in this concept.

EXTERNAL BUILDING MATERIALS

The following building materials are proposed to be utilised on the exterior of the building;

- The existing heritage elements will be restored to their original colours of white masonry and render with dark stained window and doorframes (paint scrapings are intended to be undertaken during construction to better determine the range of previous building element colours).
- The new upper level additions will be of lightweight construction and clad in dark stained vertical format timber cladding.
- The new doors and windows will be of a traditional scale and proportion and constructed from timber to match the existing heritage elements.
- The roof will be re clad in a medium width metal pan of a mid grey / silver colour selected to be low in reflectivity.
- The existing terracotta roof tiles are proposed to be removed (as supported in the attached *Heritage Impact Statement*) and replaced with a profiled sheet metal product. Whilst there is no evidence to confirm that the original roof covering (prior to 1924 building) was sheet metal, based on the estimated construction date of the original building, it is likely that this may have been the case.

LANDSCAPE AND SITE ISSUES

The boundary fencing to the west and south is to be retained and enhanced with a render and ‘soft’ paint finish to match the proposed new house colour. This fence type is to be extended along the eastern portion of the southern boundary. New boundary walls will be constructed to Doscas Lane and the eastern boundary and finished in a similar render and paint finish.

The two individual lots will be amalgamated and a swimming pool constructed in the north-east corner on an elevated landscaped platform to minimise the height of retaining required to the northern and eastern boundaries.

The northern courtyard will be covered with vine covered pergolas with retractable awnings for all year / all weather use.

The existing landscape to the Forrest Street and Broome Street frontages will be retained and enhanced with mature tree planting in the south-east corner to provide wind shelter and privacy to the outdoor entertaining and pool areas. The detailed landscaping scheme will be the subject of a separate design proposal by a selected Landscape Architect following development approval and will be sympathetic to the current streetscape setting, the context of the established house within a large residential block and the use of a coastal planting genre unique to the local area.

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REFERENCE IMAGES

The following images are provided as visual references and built examples to support the architectural design intent of the proposal.

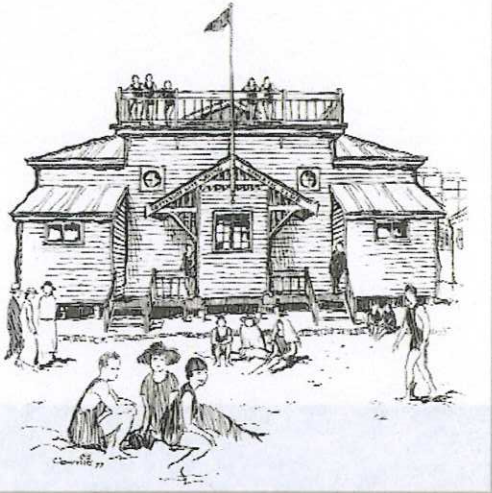


Image 1 - Cottesloe Surf Club 1920's – Architecture showing varying roof forms and cladding

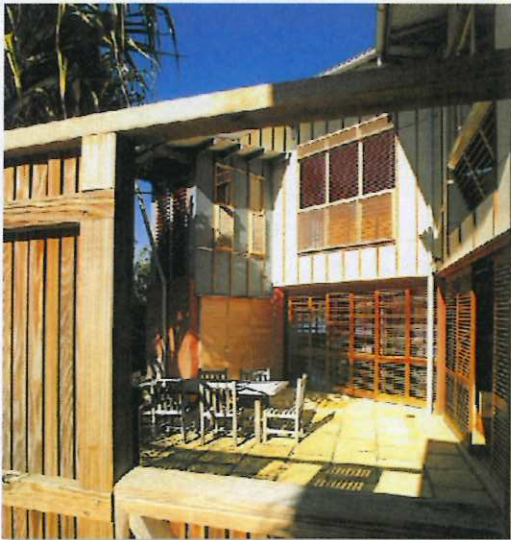


Image 2 - Private Courtyards

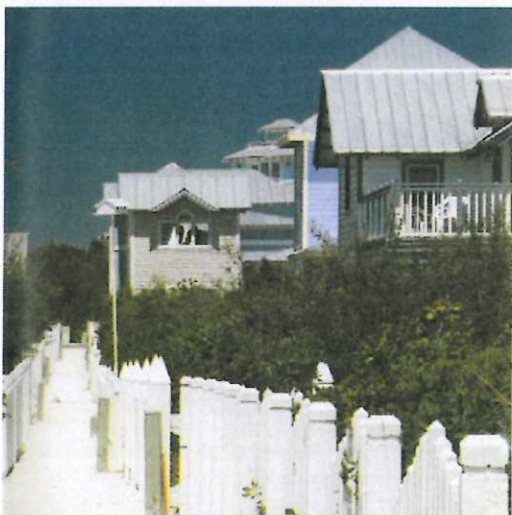


Image 3 - Metal roofs and timber cladding provide a beachside character

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Image 4 - Bedrooms in the roof space



Image 5 - Different scale roof shapes and forms demonstrate organic growth over time

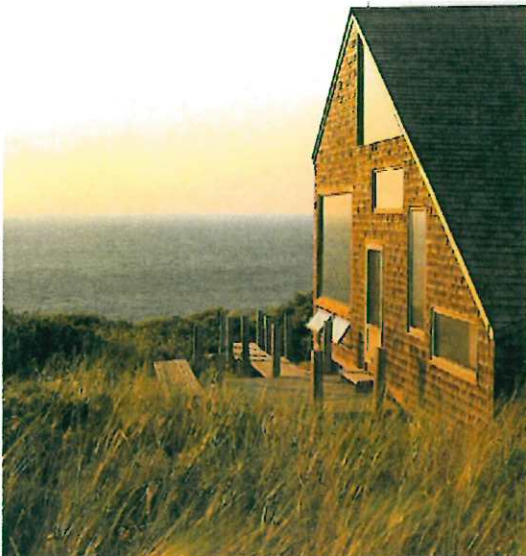


Image 6 - Upper level accommodation fits into the overall roof form

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Looking over South Terrace to the west. The buildings on the west side of the 'Strip' will remain but many in the foreground have gone.

Image 7 - The rear of the stately heritage buildings are a mass of varying roof shapes and forms

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2. SITE DEVELOPMENT CRITERIA

This section summarises the development criteria applicable to the site with reference to the Town of Cottesloe (TOC) *Town Planning Scheme No.2* and *The Residential Design Codes of Western Australia* (RDC) and assumes that the two lots are to be amalgamated with calculations being made based on total combined site area and boundary lengths.

SITE DESCRIPTION

Lot 92 on Plan 339 with site area = 1,282m² on Certificate of Title (calculated area = 1,275m²) and Lot 500 on DP 302206 site area = 491m² on Certificate of Title (calculated area = 497m²).

Total site area = 1,773m² (calculated area = 1,772m²).

Refer copy of Certificate of Title in *Heritage Assessment* report and Driscolls Land Surveyors Feature Plan (Dwg No.4208 Rev.2 dated 25.10.12).

LOT AMALGAMATION

The separate titles for the two lots (Lot 92 and Lot 500) are to be amalgamated into one single lot.

SITE STREET ADDRESS

No.48 Forrest Street, Cottelsoe.

ZONING / DENSITY

R20

BUILDING SETBACKS

As determined by the RDC *Table 1* (including *Table 2a and 2b* for 'other' boundary setbacks), the following minimum building setbacks to site boundaries are required for a single dwelling of R20 density;

Primary Street (Forrest Street, southern site boundary)

Required: 6.0m minimum required.

Existing: 9.2m minimum to verandah of existing building.

Proposed: >10.0m across combined southern site boundary – all single storey.

Comment: Compliant.

Secondary Street (Broome Street, western site boundary)

Required: 1.5m minimum required.

Existing: 4.3m minimum to verandah of existing building.

2.2m to existing Dining Room.

1.5m to existing Garage structure.

Proposed: >2.2m across western site boundary (setback of second storey 7.46m to wall within roof line.

10.5m on northern boundary (existing Garage to be demolished currently 1.5m).

Comment: Compliant.

Other - Rear (Doscas Lane, northern site boundary – nil setback portion)

Required: If wall is 9.0m or less in length by 3.5m or less in height with no major openings, wall can be nil boundary setback in accordance with RDC *Clause 6.3.2 and Table 2a*.

Existing: Nil setback to existing boundary walls for lengths of approximately 11.0m and 9.0m with Garage height exceeding 4.5m at north-west corner. Compromises amenity of existing building.

Proposed: Ground floor - nil boundary setback for 5.3m long by 3.5m high portion of wall.

Comment: Compliant.

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Other - Rear (Doscas Lane, northern site boundary – setback wall portions)

Required: If wall has major openings, boundary setback distance is determined by length and height of wall and in accordance with RDC *Table 2b*.

Existing: Varies for setback wall portions to existing building.

Proposed: Ground floor - 4.48m setback for northern wall to 'back-of-house' kitchen areas.
 Ground floor - 7.0m setback for remainder of northern wall to Living Room area.
 First floor – 3.37m, 4.48m and 5.845m setbacks with varying wall lengths and heights.
 RDC *Clause 6.3.1 A1 (v)* – allows this building setback to Doscas Lane to be reduced by a maximum of half the width of the laneway (2.72m wide laneway divided by 2 = 1.36m reduction to setback requirement).

Comment: Compliant.

Other - Side (Eastern site boundary)

Required: If wall has major openings, boundary setback distance is determined by length and height of wall and in accordance with RDC *Table 2b*.

Existing: 1.5m setback to existing separate accommodation building to north-east corner of site at upper level.

>15m to existing bay window to Bedroom 1.

Proposed: Ground floor - >15m setback to existing bay windows and 16.293m to new Living Room portion.

First floor – 13.578m minimum setback to Rumpus area.

Comment: Compliant.

The proposed increased building setback to the north-west corner of the site (Broome Street and Doscas lane) as a result of the proposed demolition of the existing Garage and Store areas, reestablishes a consistency of building setback and streetscape to Broome Street lost following the completion of the 2008 renovation works.

OPEN SPACE

As determined by the RDC *Table 1*, the following Open Space provisions are required;

Minimum Total Open Space (% of site)

Required: 50%

Proposed: 66.84% excluding existing verandah and 72.95% including existing verandah areas.

Comment: Compliant.

Minimum Outdoor Living (m²)

Required: 30m²

Proposed: 108.453m² – existing verandah areas.

90.135m² – Terrace areas to north and east of new Living Room.

Comment: Compliant.

Refer to architectural drawing *DA-06 Site Coverage / Development Comparison* for summary of existing and proposed building areas.

MAXIMUM BUILDING HEIGHT

As determined by the TOC *Town Planning Scheme No.2, (Part V General Provisions, 5.1 Amenity, 5.1.1 (c) Measurement of Building Height)* the following building height provisions are required;

The maximum building height shall be measured from the natural ground level at the centre of the site as determined by Council to the crown of the roof and shall be;

Single Storey: **Roof Height:** 6.0 metres

Two Storey: **Wall Height:** 6.0 metres

Roof Height: 8.5 metres

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The *natural ground level* for the development has been calculated as being a point midway along the north and south boundaries (42.250m divided by 2 = 21.125m) and a point midway along the east and west boundaries (41.95m divided by 2 = 20.975m) the intersection of which is interpolated from the site survey data as being **RL 31.600** (Refer to architectural drawing *DA-01 Site Plan* for demonstration of *natural ground level*).

The maximum building height datum for the development is therefore as follows;

Single Storey:	Roof Height:	RL 37.600	(RL 31.600 + 6.0m = RL 37.600)
Two Storey:	Wall Height:	RL 37.600	(RL 31.600 + 6.0m = RL 37.600)
	Roof Height:	RL 40.100	(RL 31.600 + 8.5m = RL 40.100)

Maximum Building Height (Single storey portion)

Required:	Roof height maximum	RL 37.600
Existing:	RL 39.510	(Refer Driscolls Land Surveyors drawing No.4208).
Proposed:	Extent of new single storey additions do not exceed the +6.0m RL 37.600 or are covered by the existing roof structure height.	
Comment:	Compliant.	

Maximum Building Height (Two storey portion)

Required:	Wall height maximum	RL 37.600
	Roof height maximum	RL 40.100
Existing:	No second storey portion, single storey only at RL 39.510 (Refer Driscolls Land Surveyors drawing No.4208).	
Proposed:	Extent of new second storey addition wall heights are based on the new first floor level being set above the existing ceiling level with the new roof heights being a combination of minimum height pitching points above the new floor level of FFL 35.879 and the amalgamation with the existing building roof line and ridge heights. Refer building elevation drawings <i>DA-07 Elevations - Sheet 1 of 2</i> and <i>DA-08 Elevations – Sheet 2 of 2</i> . Extent of new second storey addition roof ridge heights are below the required upper height limit of RL 40.100 and do not exceed the existing upper roof ridge height of RL 39.510 (Refer Driscolls Land Surveyors drawing No.4208).	
Comment:	Wall height maximum – relaxation is requested under the provisions of the TOC <i>TPS No.2</i> where “ <i>Variations may be permitted in the case of extension to existing buildings</i> ”. The increased wall height does not detrimentally impact on the amenity of this or neighbouring buildings as itemised under the provisions of clause 5.1.2 <i>General</i> . Roof height maximum – compliant.	

PRIVACY / OVERLOOKING

Under the provisions of the RDC (6.8.1 *Visual Privacy P1*) regarding visual privacy, the “*direct overlooking of active habitable spaces and outdoor living areas of other dwellings*” from the proposed development has been minimised by use of the following devices;

- Location of main living spaces to ground floor and orientated to north-east corner of the site.
- Use of existing established external site levels to ensure that external living spaces are lower than neighbouring properties and screened by new boundary walls.
- The setback of proposed first floor building away from the northern and eastern boundaries to provide sufficient ‘distance’ to neighbouring properties and buildings.
- The location and sizing of windows to habitable first floor rooms to minimise potential issues of overlooking whilst maximising solar penetration and natural daylight requirements.
- Habitable first floor rooms are aligned with Doscas Lane and increase the actual visual privacy distance through the laneway width separation to the neighbouring property.
- No first floor deck, terrace or balcony spaces.

Architectural drawing *DA-04 First Floor Plan* provides an overlay of the cone of vision templates from active habitable spaces to the first floor layout as determined by the RDC (6.8.1 *Visual Privacy A1 i*) with the following being applicable;

Required:	Bedrooms	4.5m cone of vision
	Other habitable rooms	6.0m cone of vision
Comment:	Compliant.	

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The question of existing views enjoyed by adjoining properties over Lot 92 and Lot 500 toward the south-west, the golf course and the ocean was raised by Council. The right to the enjoyment and maintenance of views over adjoining properties owned by others is an ongoing and contentious issue.

The following panoramic photographic image has been provided on request to Council as part of the supplementary Development Application submission to demonstrate that existing views over the property from the north-east are nonexistent or very limited.

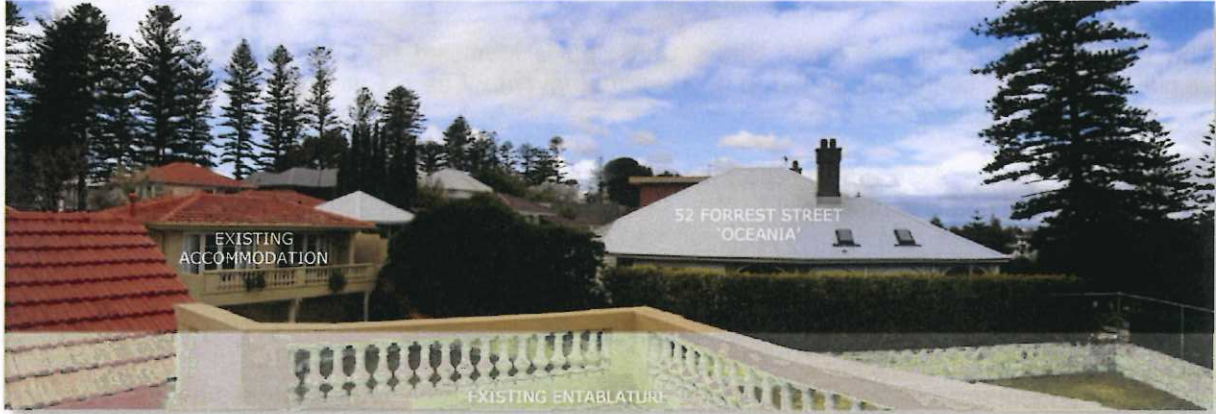


Image 8 - View from top of existing entablature of 48 Forrest Street toward north-east

OVERSHADOWING

Under the provisions of the RDC (6.9.1 *Solar Access for Adjoining Sites A1*) regarding overshadowing, the shadow cast by the proposed development at midday on 21 June onto any adjoining property must not exceed 25% of the adjoining site area.

Required: Not exceeding 25% of adjoining site area.

Comment: Demonstrated not required as there are no adjoining properties to the south of the proposed development influenced by the property cast shadow.

PARKING

The proposed development exceeds the required provision for vehicle parking on-site and will comply with the relevant requirements of AS2890.1.

The following parking provisions are proposed;

- Vehicles: Four (4) on-site secure car parking bays to the proposed Basement area.
Two (2) existing off-site visitor bays to Broome Street road reserve on precast concrete 'Ritter' type pavers to be retained.
- Bicycles: Minimum of four (4) on-site secure bicycle bays to the proposed Basement area.

VEHICLE CROSSOVERS / ACCESS

The proposed development will retain the existing bitumen paved crossover from Broome Street and integrated with the Doscas lane crossover. The width or grade of this crossover will not be altered.

Preliminary traffic engineering advice has been sought to ensure that the existing vehicle crossover and the proposed vehicle ramp grade and transitions to the Basement parking area will be suitable for use by vehicles with low clearances.

BOUNDARY FENCES AND WALLS

The proposed development will retain the existing southern and western boundary fences (limestone block pier and low infill walls with precast capping blocks with paint finished steel open infill panels) The limestone is proposed to be rendered and painted as illustrated on architectural drawing *DA-09 Streetscape Perspectives – Sheet 1*.

Boundary walls to the northern and eastern boundaries are to be constructed to the height as shown on the submitted architectural drawings.

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RUBBISH BINS

The required rubbish bins for the proposed development are to be located in the specific Bin room in the Basement area and brought out as required by Council on the nominated collection day(s).

The number of bins shown exceeds that provided by Council to each property as requested by the applicant.

HERITAGE

The existing building at 48 Forrest Street Cottesloe is identified by the TOC as having heritage significance and is contained on the TOC *Municipal Inventory* as a Category 2 building and is also protected by TPS *Schedule 1*.

Refer to the *Heritage Assessment* report prepared by Ronald Bodycoat Architect dated October 2012 that forms as part of this submission.

PREVIOUS PLANNING APPROVALS

Council has provided an extract copy of the TOC Minutes from 27 August 2007 (File No. PRO/1300) relevant to the previous planning approval for the works built in 2008.

This development approval included a partial second storey addition to the eastern side of the existing building for two new bedrooms and a stair and the consolidation of the ground floor space with a proposed new swimming pool and outdoor living area, all to be located on Lot 92 enabling Lot 500 to be made available for a separate development in the future.

It appears that there may have been an amendment to this approval or a further application to Council as the built works do not reflect the description. Whilst now expired, this approval provides a precedent for the assessment and further consideration of a second level addition to the existing identified heritage building portion.

REQUESTED RELAXATIONS

As part of this Development Application submission and assessment, the following relaxations to the deemed to satisfy or comply provisions of either the TOC *Town Planning Scheme No.2* and / or *The Residential Design Codes of Western Australia* are requested to be considered by Council;

1. A portion of the proposed new second storey external wall height exceeds the TOC required maximum height limit of 6.0m (RL 37.600) above the determined site *natural ground level* of RL 31.600. A relaxation is requested based on the following considerations;
 - The requirement to set the new upper finished floor level height based on the retention of the existing heritage ceiling heights in the existing building.
 - The integration of the new roof lines and forms with the existing heritage building roof structure and ridge level of RL 39.510. The retention of this upper roof limit as set by the existing building is within the allowable maximum height limit of 8.5m (RL 40.100) above the determined site *natural ground level* of RL 31.600 (590mm).

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3. HERITAGE IMPACT STATEMENT

Refer to the following *Heritage Impact Statement* dated October 2012 as prepared by Ronald Bodycoat Architect.

This statement is to be read in conjunction with the *Heritage Assessment* report dated October 2012 for the same property as also prepared by Ronald Bodycoat Architect.

48 FORREST STREET
COTTESLOE, WESTERN AUSTRALIA

HERITAGE IMPACT STATEMENT

Prepared by
Heritage Impact Statement
48 Forrest Street
Cottesloe, WA 6155
Prepared for
48 Forrest Street
Cottesloe, WA 6155

October 2012

**HOUSE
48 FORREST STREET
COTTESLOE, Western Australia**

HERITAGE IMPACT STATEMENT

**Prepared by:
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October 2012

ALTERATIONS AND ADDITIONS TO HOUSE - 48 FORREST STREET, COTTESLOE, WESTERN AUSTRALIA

HERITAGE IMPACT STATEMENT

1.0 INTRODUCTION

The existing house at 48 Forrest Street, Cottesloe, Western Australia, is proposed to be altered and additions constructed onto the retained original southern section of the house.

The existing property was adopted into the Town of Cottesloe Municipal Inventory as Record No. 139 on 30 September 1995 and was entered into the Town Planning Scheme No. 2 on 23 December 1988 in Schedule 1. The place is not entered in the State Register of Heritage Places. The place was entered in the Australian Heritage Council Register of the National Estate on 28 September 1982.

As a consequence of inclusion of the place in the Municipal Inventory and Town Planning Scheme No. 2, a Heritage Impact Statement is required as part of the documentation for consideration of Development Approval for the proposed alterations and additions.

2.0 HERITAGE ASSESSMENT

A Heritage Assessment for the property was prepared in October 2012 by Ronald Bodycoat AM.KSJ.LFRAIA Heritage Architect as a necessary prerequisite for the consideration of Development Approval. The assessment determined the cultural heritage significance of the property and identified the specific elements of heritage value. **Reference** should be made to that Heritage Assessment document.

3.0 HERITAGE IMPACT STATEMENT

3.01 The format for this Heritage Impact Statement regarding the proposed alterations and additions to the early, original section of the house is based on the 'Heritage Impact Statement' guide document prepared by the State Heritage Office dated February 2012 and current in October 2012.

3.02 The Existing Property in October 2012

The fabric of the house and grounds as they stand today at No. 48 Forrest Street has been subjected to a number of substantial modifications in the past. It is important to acknowledge these stages of development to the property:

- the possibility, based on surviving evidence discovered on site in October 2012, of an early house existing on Lot 92 prior to the development carried out for J. H. Barsden in 1924;
- modifications to the early house **or** a new house constructed for J. H. Barsden in 1924; no documentation has been discovered to-date for this work;

- addition of the granny flat and garage in 1977, and modifications to the existing Barsden House for R. Elvey; copies of the construction drawings survive in Town of Cottesloe archives;
- alterations and additions carried out in 2008 for Mr. and Mrs. Nasuti; as identified by an inspection of the fabric on site in October 2012 and in archival material held by the Town of Cottesloe.

Some textual documentary evidence is available to support some of the above stages of development.

In summary, the house and grounds to be discovered on site in October 2012 represent part of a 1924 development, the southern section of the house and the southern Classical Revival verandah; the 1977 additions in the northeast corner of the lot (the granny flat); and the substantial alterations and additions carried out in 2008 to the northern section of the house incorporating the cellar, the large garage in the northwest corner of the lot, the boundary fencing to Forrest Street and Broome Street, and modifications to the interior of the surviving section of the 1924 fabric.

It is clearly evident that the place has been subjected to substantial alterations and additions since 1924, and possibly prior to that date. The existing elements of the place, assessed to have cultural heritage significance, are identified in the **Heritage Assessment** of October 2012, as follows:

- the external form of the original (i.e. 1924) section of the house, including door and window details and bay windows, rendered and painted masonry with a pitched, gabled roof; in the 1920s style but possibly grafted onto an earlier Federation style house;
- surviving chimneys;
- the Classical Revival style verandah to the south side of the house and the west and east returns - Ionic columns, entablature, timber-boarded floor and timber-boarded ceiling lining;
- the setbacks of the house from both street boundaries.

3.03 Condition of the Existing Fabric

The **Building Inspection Report** prepared by Maek Pty. Ltd. dated 3 September 2012 is an important reference to appreciate the current physical condition of the fabric of the place as well as a verification of the characteristics of the fabric of the place, useful in determining or confirming the stages of development. Such a report is useful in appreciating necessary work on the existing fabric to be retained in the new proposal for alterations and additions.

The relevant data applicable only to the southern section of the house, to be retained, is summarised as follows:

- the original fabric is cavity brickwork, rendered and painted; surviving evidence of tuck-pointing on the eastern wall also supports the possibility that the rendering of the brickwork dates from the 1924 development and possibly to an existing earlier house;
- terracotta Marseilles pattern roofing tiles have been spray-painted orange on the external faces; fretting of the underside of tiles is evident in the roof space; a number of tiles are cracked, some badly repaired with silicon; the colour variations in roofing tiles identifies the 2008 section of development; there is no sarking under roofing tiles;

- lead over-flashings are not painted, a possible cause for corrosion of metal eaves and box gutters;
- accumulation of vegetable matter in valleys, gutters and gutter outlets is contributing to corrosion of metal gutters, downpipes and flashings; regular cleaning of the roof rainwater system is not being carried out;
- extensive fracturing is apparent on the top surface of the entablature to the south verandah; and cracking in the underside and the vertical faces of the concrete beams at the head of the columns is an urgent maintenance item, resulting from corrosion of the metal reinforcement; archival photographs from the 2008 refurbishment records, only four years ago, and even at that time, the extensive deterioration of the entablature piers and coping moulding;
- the southern verandah columns are precast, with downpipes from the box gutter to the roof above cast into the columns; corrosion of the downpipes has caused leakage into the fabric of the columns causing blistering of paint finishes and rust staining;
- a timber-boarded lining to the verandah ceiling is warped, possibly exacerbated by flooding from blocked outlets to box gutters to the roof above, and blockage in downpipes cast into columns;
- timber-boarded flooring to the verandah is warped and deteriorated;
- gutter pops issue onto paving; external downpipes are built into stormwater lines at ground level;
- the absence of sarking under roofing tiles, the introduction of collar ties, bracing and additional propping to timber roof framing, indicate two possibilities, dating from the 2008 works:
 - that the roof was warping due to the weight of clay tiling and possible inadequate framing

or

 - that clay tiles were a later 1924 replacement to an earlier corrugated iron roof cladding; there is no positive evidence however to substantiate this possibility;
- evidence of lath and plaster ceilings, when viewed from within the roof space; a view of ceilings from below, particularly to ceilings with exposed beams, indicates lath and plaster cracking (well maintained) to some ceilings.

Summary

The above items are listed in this Heritage Impact Statement to highlight where repairs to and replacement of existing materials will be necessary as part of the proposed alterations and additions. Such repair/replacement if sensitively carried out **will not adversely impact on the cultural heritage significance** of the elements identified to have heritage value.

3.04 Statement of Significance

The following Statement of Significance has been extracted from the Heritage Assessment prepared in October 2012 for the place at 48 Forrest Street, Cottesloe:

9.0 STATEMENT OF CULTURAL HERITAGE SIGNIFICANCE

The original southern section of the house at 48 Forrest Street, Cottesloe, constructed or refurbished in 1924 for J. H. Barsden, Solicitor, and comprising a single-storey brick

and tile residence on a large corner lot at the corner of Forrest Street and Broome Street, Cottesloe, Western Australia, has cultural heritage significance at a level of Considerable value, for the following reasons:

- the place has aesthetic value for its dominant Classical Revival verandah details to the south, east and west sides of the original part of the house;
- the place has landmark value arising out of its dominant architectural characteristics, set in a landscaped setting to both street frontages;
- the place has historic value for its close association with J. H. Barsden, Solicitor, who was responsible for the external presentation of the house in 1924, and for its function as his private residence;
- the place incorporates a rare stylistic element in the Classical Revival verandah at the southern section of the house, thereby reinforcing its uncommon and landmark values;
- the place has retained integrity and authenticity due to its single residential function since 1924 with substantial survival of its original state externally;
- the Norfolk Island pine trees to both street road reserve frontages of the property are listed on the Municipal Inventory of the Town of Cottesloe, and as a result the trees and the large road reserve setting add extra significance to streetscape values and context of the place;
- the property at 48 Forrest Street is bounded on both sides by other significant housing also on the Municipal Inventory of the Town of Cottesloe - 'Pine Court' at 96-98 Broome Street, and 'Oceania' at 52 Forrest Street - thereby reinforcing the significance of the place in an acknowledged heritage precinct.

The 2008 additions and alterations to the original 1924 house and grounds, the separate apartment in the north-east corner of the lot, and all boundary fencing are assessed to have no relevant heritage value.

3.05 State Heritage Office Criteria

The following text has been extracted from the State Heritage Office guide for Heritage Impact Statements:

What is a statement of heritage impact?

A heritage impact statement (HIS) describes and evaluates the likely impact of a proposal.

An HIS is a clear and concise account of the proposed work that addresses three basic questions:

- How will the proposed works affect the significance of the place or area?
- What measures (if any) are proposed to ameliorate any adverse impacts?
- Will the proposal result in any heritage conservation benefits that might offset any adverse impacts?

How will the proposed works affect the significance of the place or area?

Because the elements of the place identified to have cultural heritage significance are not adversely affected by the proposed development, there is no adverse affect on the heritage significance of the place as a whole. The elements of significance are retained, enhanced and conserved in an appropriate manner. Necessary restoration work on the deterioration of the significant elements will form part of the development proposal. Close examination of the existing fabric in 2012 reveals unacceptable and substandard conservation work was carried out on the southern section of the house in the 2008 alterations and additions. Conservation of the significant elements will be assured in the proposed development which also removes additions of the 2008 development that have no cultural heritage significance, to be replaced by new development which **is clearly sympathetic** to the character of the retained significant fabric.

What measures (if any) are proposed to ameliorate any adverse impacts?

Since there are no perceived adverse impacts resulting from the proposed alterations and additions, there are no specific measures necessary. The architectural design of the proposed alterations and additions, the subject of a Development Approval submission currently before the Town of Cottesloe, addresses the characteristics of the fabric to be retained in a compatible manner, continuing the existing vocabulary of pitched and gabled roofs, external details, rendered and painted walls, and retention in sound condition of the external elements identified as heritage elements. **There is no intention to alter the overall significance of the exterior of the original (i.e. earlier) southern section of the house.**

Will the proposal result in any heritage conservation benefits that might offset any adverse impacts?

The proposed development will benefit the conservation of the heritage elements and will have **no adverse impact** on those elements:

- (a) new landscape treatment in the proposed development will enhance the existing landscape setting on site and adjacent to the retained original part of the house; the existing landscape represents a loss of the original setting from the time of the establishment of a house on the site up to the present day in 2012;
- (b) the proposed development will include necessary restoration of the heritage elements, now identified to be in a deteriorated and at-risk condition - the roof covering to the house; the southern verandah columns, beams and entablature; the timber-boarded elements of the south verandah floor and ceiling;
- (c) thereby, the heritage section of the house will have an assured longevity in the context of a proposed refurbishment to satisfy a twenty-first century lifestyle for the occupants of the place;
- (d) the place will continue as a significant element in a potential heritage precinct in a high-profile locality of the Town of Cottesloe;
- (e) specific issues of the proposed development will support sound conservation practice:
 - the new additions are documented to be sympathetic to the architectural character of the retained and significant southern section of the house; the additions will continue the architectural vocabulary of the existing:
 - rendered and painted external masonry walls
 - pitched and gabled roofs
 - external paint colour compatible with the original presentation, at the same time embracing subtle adjustments and colour highlighting appropriate for the current context - light colour to masonry elements, new and old, with contrasting dark colour to new inserted works; original and subsequent paint colours will be determined by paint scrapes on site
 - sound conservation practice which requires a sympathetic, sensitive and compatible architectural design for alterations and additions to heritage places - a brusque change to steel and glass additions are not proposed on the basis that, for this place, such transformation would be visually aggressive, quite apart from being unacceptable to the client
 - the predominant heritage style of the place is the existing Classical Revival verandah to the southern section of the house; beyond that

verandah, the fabric of the house is of indeterminate style, Federation or Between-the-Wars, in a non-descript residential style, secondary to the dominant Classical Revival verandah which dictates the iconic values of the place as viewed from the street

- new timber cladding to upper level addition - clearly a modern material - part of roofscape elements with reference to the early Cottesloe beach house aesthetic;
- moderate adjustments as proposed to the existing significant southern section of the house are considered to be acceptable and not to adversely affect the heritage values of the place:
 - enlargement of the southeast bay; whereas the southeast and southwest bays are currently similar in a predominantly symmetrical southern elevation, the character of the dominant verandah will absorb such a proposed adjustment as it already does to the existing asymmetrical southern elevation elements - the French doors, the circular window and the off-centre main entrance setback within an irregular rectangular archway, perhaps suggestive of works undertaken between major renovation stages
 - further adjustment of walls in the introduced (2008) en-suite bathroom to the main bedroom will constitute an internal alteration of no heritage consequence
 - similarly, reworking of the existing doors in the western wall of the present study (already a 2008 alteration) and adjustment of the north wall of the study, are internal works of no heritage consequence
 - removal of the 1977 granny flat in the northeast corner of the lot and total replacement of the 2008 addition across the entire rear of the house, constitute no adverse impact on the heritage values of the southern section of the house including remnant of boundary limestone wall
 - replacement of the entire pitched roof cladding from deteriorated and painted terracotta tiles to profiled metal deck of mid-grey colour is considered to be compatible with the overall presentation of the extended house, will have no adverse impact on heritage values, will not be a visually dominant element due to the elevation of the house as viewed from the street (refer to photographs of the existing house), and is appraised to be consistent stylistically as an appropriate roofing material in the context of the dominant Classical Revival verandah to the south elevation with returns to the west and east sides of the original section of the house; such a replacement material is a legitimate optional roofing material, particularly considering that sheet metal roofing was a common material for houses in the 1920s and in the earlier Federation period; new metal roof cladding will ensure a long-lasting weather-tight roof covering
 - continuing the existing light off-white paint colour to new and existing external walls; paint scraping will be carried out on site to determine the original and subsequent paint colours.

3.06 Demolition of the 2008 Additions and the 1977 Granny Flat

Retention or adaptation of these two elements is not an acceptable part of the proposed development. Neither of these elements is assessed to have cultural heritage significance. Removal facilitates an enhancement of the landscaped setting of the retained original section of the house and improves the amenity of the overall house to suit the client's specific brief. Professional consultation and

sensitive design has been vigorously pursued for the proposed new development, including the provision of a Heritage Assessment and this Heritage Impact Statement.

3.07 Conclusion

The proposed development will have **no negative impact** on the heritage significance of the place; rather, the proposal enhances and reinforces the heritage characteristics of the original southern part of the house and reinvigorates that section and the overall landscape setting. The proposal re-establishes the important Broome Street building setback rhythm through removal of the existing garage - important to the streetscape.

The community perception of the importance of the original section of the building 'as a house within a landscape' will remain as an important component of an assumed heritage precinct.

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October 2012.

