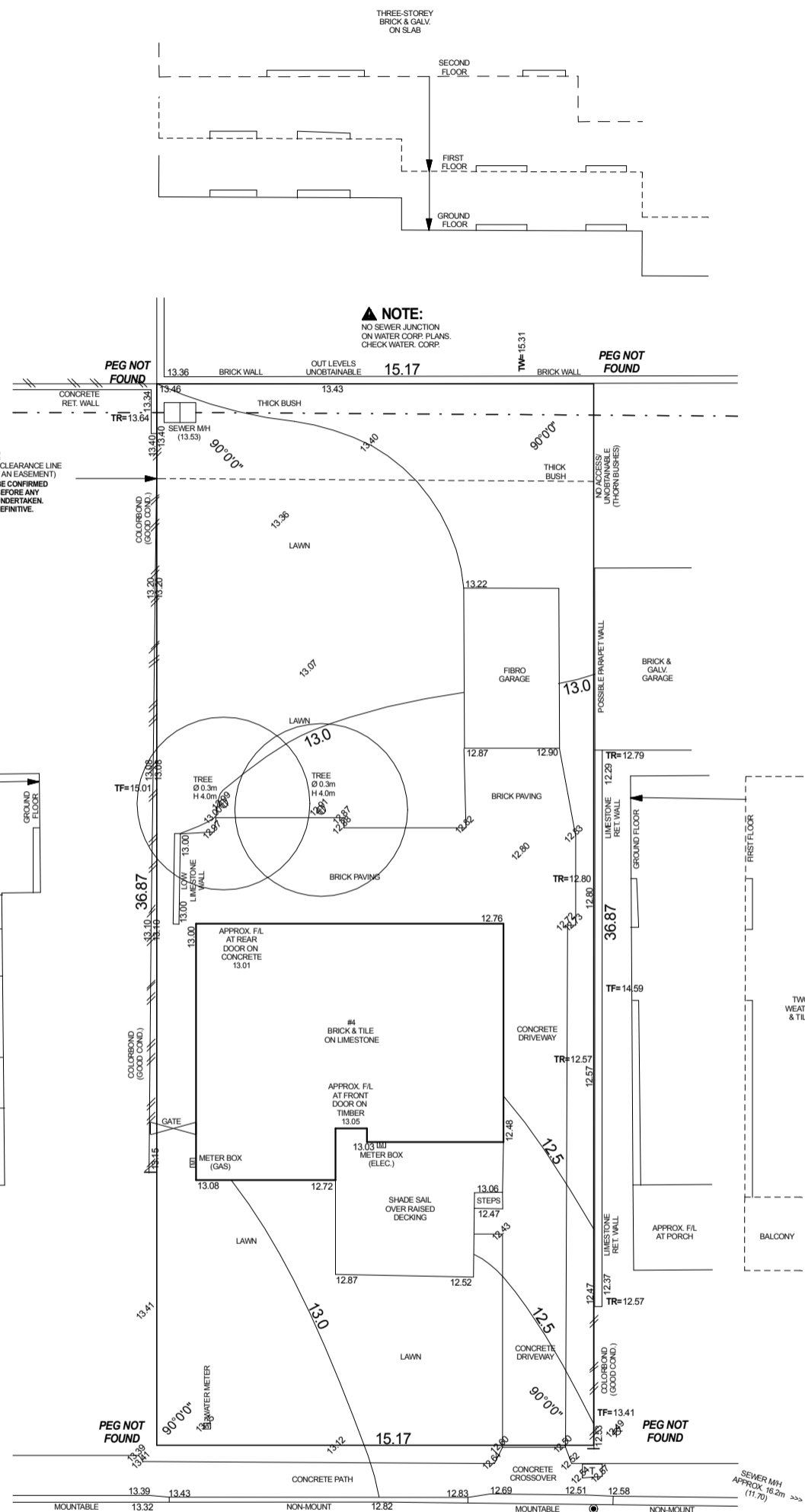
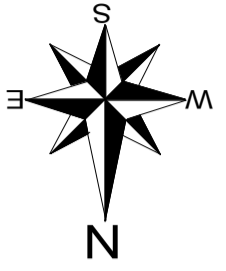


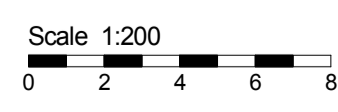
+	POWER DOME
○	POWER POLE
□	PHONE PIT
□	WATER CONN.
TP=10.00	TOP FILLARPOST
TW=10.00	TOP WALL
TR=10.00	TOP RETAINING
TF=10.00	TOP FENCE



TOWN OF COTTESLOE
DATE RECEIVED
6 January 2024

LOT MISCLOSE
0.000 m

- DISCLAIMER:** Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.
- DISCLAIMER:** Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.
- DISCLAIMER:** Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.
- DISCLAIMER:** Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.
- DISCLAIMER:** Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.



03	UPDATED DA PLANS	06/01/2025
02	REVISED DESIGN FOR DA	25/11/2024
01	DA PLANS COMPLETE	20/05/2024
REV	AMENDMENT	DATE

PROJECT ADDRESS:
Proposed New Residence for
Mr & Mrs DiVirgilio
at Lot 19 (#4) Overton Gardens
COTTESLOE

DRAWING: EXISTING SITE PLAN

DRAWING No: DA-01

Copyright 2024 Shayne Le Roy Design Member of the Building Designers Association WA

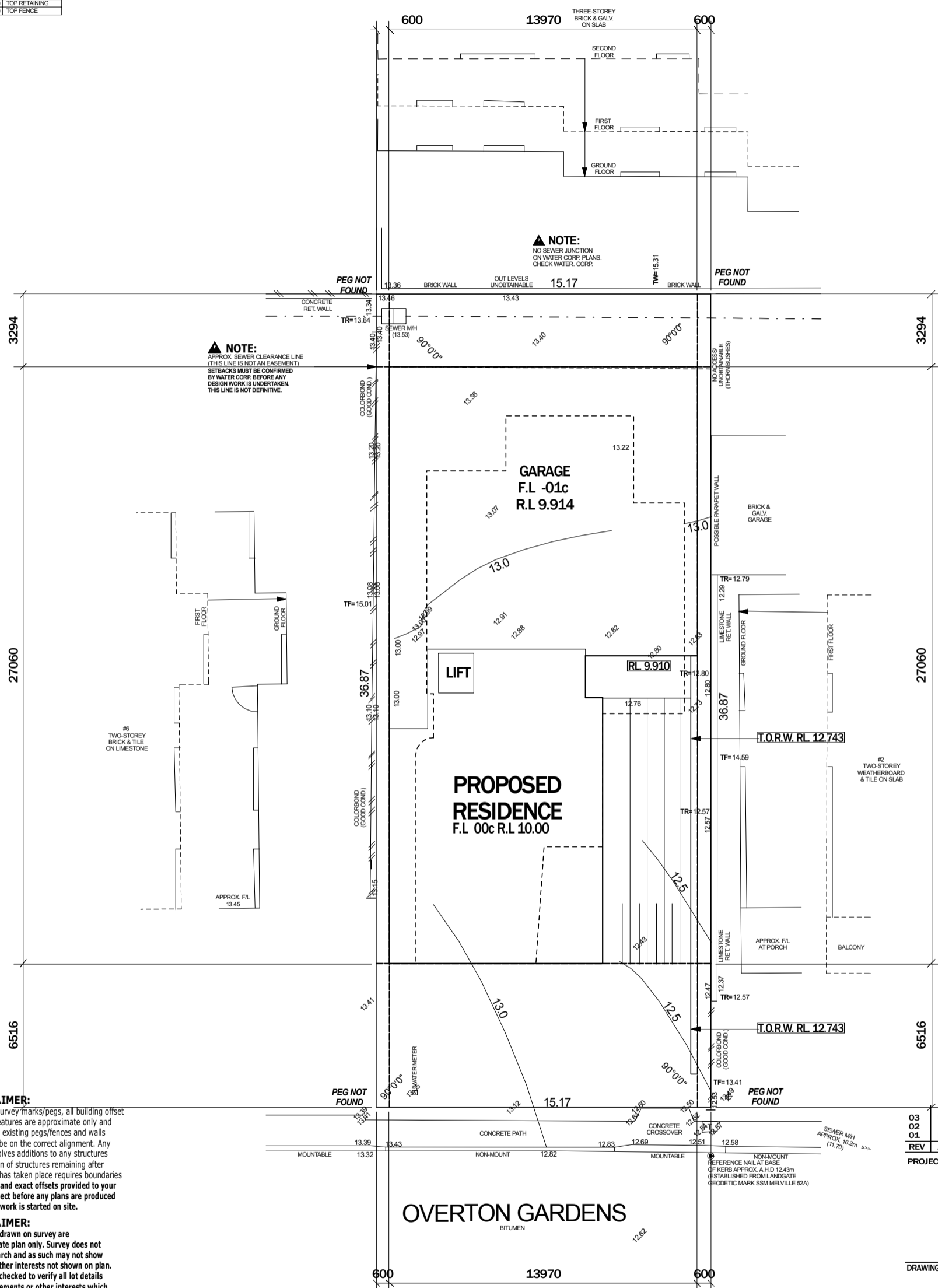
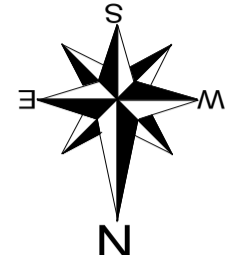
SCALE 1:200	DRAWN SL	CADFILE DiVirgilio_a.SNF	PAGE SIZE A3
-----------------------	--------------------	------------------------------------	------------------------



PO Box 511
MAYLANDS WA 6931
E: shayne@shayneleroy.com.au
M: 0417 949866

- CONSTRUCTION NOTES:**
- These plans are the sole property of SHAYNE LE ROY DESIGN & may not be reproduced or modified in whole or in part without written permission.
 - Contractors shall check all dimensions and conditions on site prior to commencing fabrication or construction. Any discrepancies to be brought to the Designers attention.
 - Do not scale from Drawings.
 - Owner to note that all sizes shown are without plaster (where applicable) and should be allowed for.

+	POWER DOME
○	POWER POLE
□	PHONE PITS
□	WATER CONN.
TP=10.00	TOP FILL/POST
TW=10.00	TOP WALL
TR=10.00	TOP RETAINING
TF=10.00	TOP FENCE



TOWN OF COTTESLOE
DATE RECEIVED
6 January 2024

DISCLAIMER:

Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.

DISCLAIMER:

Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:

Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

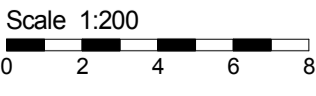
DISCLAIMER:

Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:

Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

LOT MISCLOSE
0.000 m



03	UPDATED DA PLANS	06/01/2025
02	REVISED DESIGN FOR DA	25/11/2024
01	DA PLANS COMPLETE	20/05/2024
REV	AMENDMENT	DATE

PROJECT ADDRESS:
Proposed New Residence for
Mr & Mrs DiVirgilio
at Lot 19 (#4) Overton Gardens
COTTESLOE

DRAWING:
BASEMENT SITE PLAN

DRAWING No:
DA-02

© Copyright 2024 Shayne Le Roy Design Member of the Building Designers Association WA

SCALE	DRAWN:	CADFILE:	PAGE SIZE:
1 : 200	SL	DVirgilio_a1.SKF	A3



PO Box 511
MAYLANDS WA 6931
E: shayne@shayneleroy.com.au
M: 0417 949866

CONSTRUCTION NOTES:
1. These plans are the sole property of SHAYNE LE ROY DESIGN & may not be reproduced or modified in whole or in part without written permission.
2. Contractors shall check all dimensions and conditions on site prior to commencing fabrication or construction. Any discrepancies to be brought to the Designers attention.
3. Do not scale from Drawings.
4. Owner to note that all sizes shown are without plaster (where applicable) and should be allowed for.

+	POWER DOME
○	POWER POLE
□	PHONE PIT
○	WATER CONN.
TP=10.00	TOP FILLARPOST
TW=10.00	TOP WALL
TR=10.00	TOP RETAINING
TF=10.00	TOP FENCE

OVERSHADOWING CALCULATION:

LEGEND:

- SHADOW CAST BY PROPOSED NEW RESIDENCE ON 21st JUNE AT MIDDAY

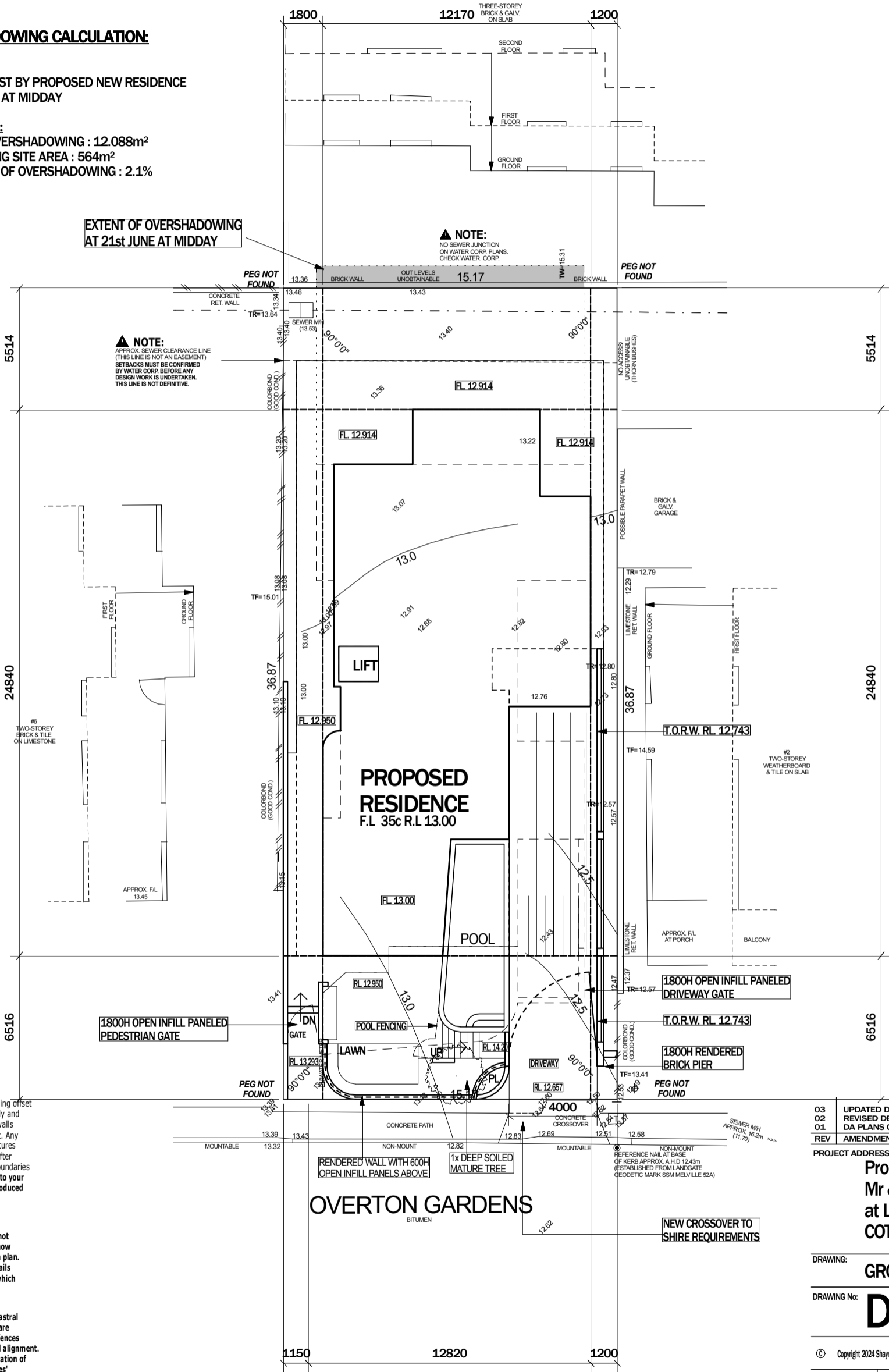
CALCULATION:

EXTENT OF OVERSHADOWING : 12.088m²
NEIGHBOURING SITE AREA : 564m²
PERCENTAGE OF OVERSHADOWING : 2.1%

EXTENT OF OVERSHADOWING AT 21st JUNE AT MIDDAY

NOTE:
APPROX. SEWER CLEARANCE LINE (THIS LINE IS NOT AN EASEMENT) SETBACKS MUST BE CONFIRMED BY WATER CORP BEFORE ANY DESIGN WORK IS UNDERTAKEN. THIS LINE IS NOT DEFINITIVE.

NOTE:
NO SEWER JUNCTION ON WATER CORP PLANS. CHECK WATER CORP.



DISCLAIMER:
Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.

DISCLAIMER:
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

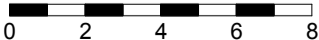
DISCLAIMER:
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

LOT MISCLOSE
0.000 m

Scale 1:200



TOWN OF COTTESLOE

DATE RECEIVED

6 January 2024

03	UPDATED DA PLANS	06/01/2025
02	REVISED DESIGN FOR DA	25/11/2024
01	DA PLANS COMPLETE	20/05/2024
REV	AMENDMENT	DATE

PROJECT ADDRESS:
Proposed New Residence for Mr & Mrs DiVirgilio at Lot 19 (#4) Overton Gardens COTTESLOE

DRAWING: **GROUND FLOOR SITE PLAN**

DRAWING No: **DA-03**

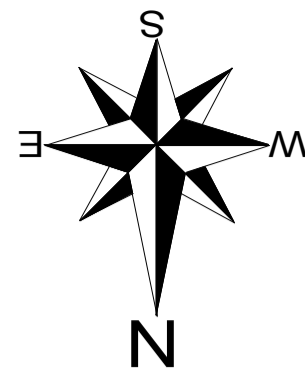
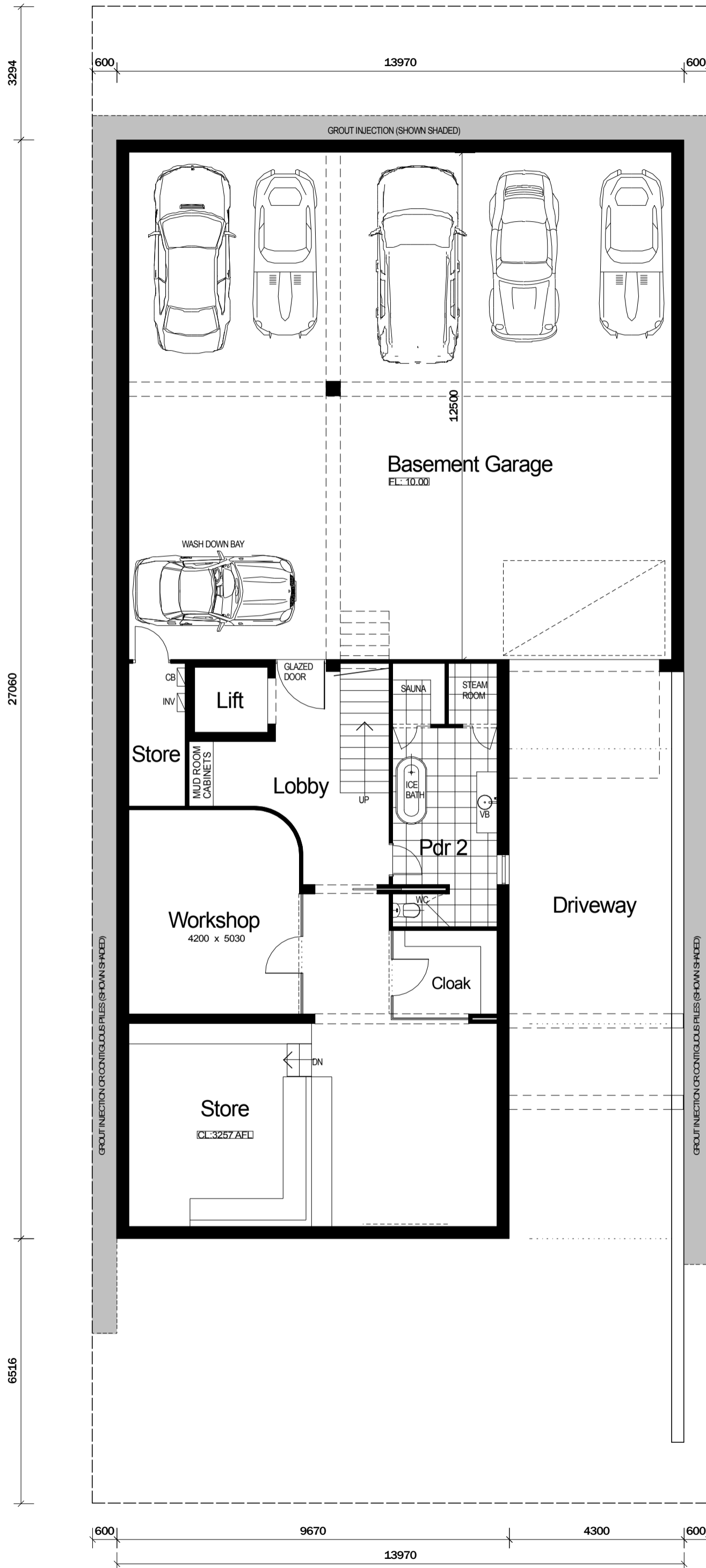
© Copyright 2024 Shayne Le Roy Design Member of the Building Designers Association WA

SCALE	DRAWN	CADFILE	PAGE SIZE
1 : 200	SL	DVirgilio_a2.SKF	A3



PO Box 511
MAYLANDS WA 6931
E: shayne@shayneleroy.com.au
M: 0417 949866

CONSTRUCTION NOTES:
1. These plans are the sole property of SHAYNE LE ROY DESIGN & may not be reproduced or modified in whole or in part without written permission.
2. Contractors shall check all dimensions and conditions on site prior to commencing fabrication or construction. Any discrepancies to be brought to the Designers attention.
3. Do not scale from Drawings.
4. Owner to note that all sizes shown are without plaster (where applicable) and should be allowed for.



TOWN OF COTTESLOE
 DATE RECEIVED
 6 January 2024

03	UPDATED DA PLANS	06/01/2025
02	REVISED DESIGN FOR DA	25/11/2024
01	DA PLANS COMPLETE	20/05/2024
REV	AMENDMENT	DATE

PROJECT ADDRESS:
**Proposed New Residence for
 Mr & Mrs DiVirgilio
 at Lot 19 (#4) Overton Gardens
 COTTESLOE**

DRAWING: **BASEMENT FLOOR PLAN**

DRAWING No: **DA-04**

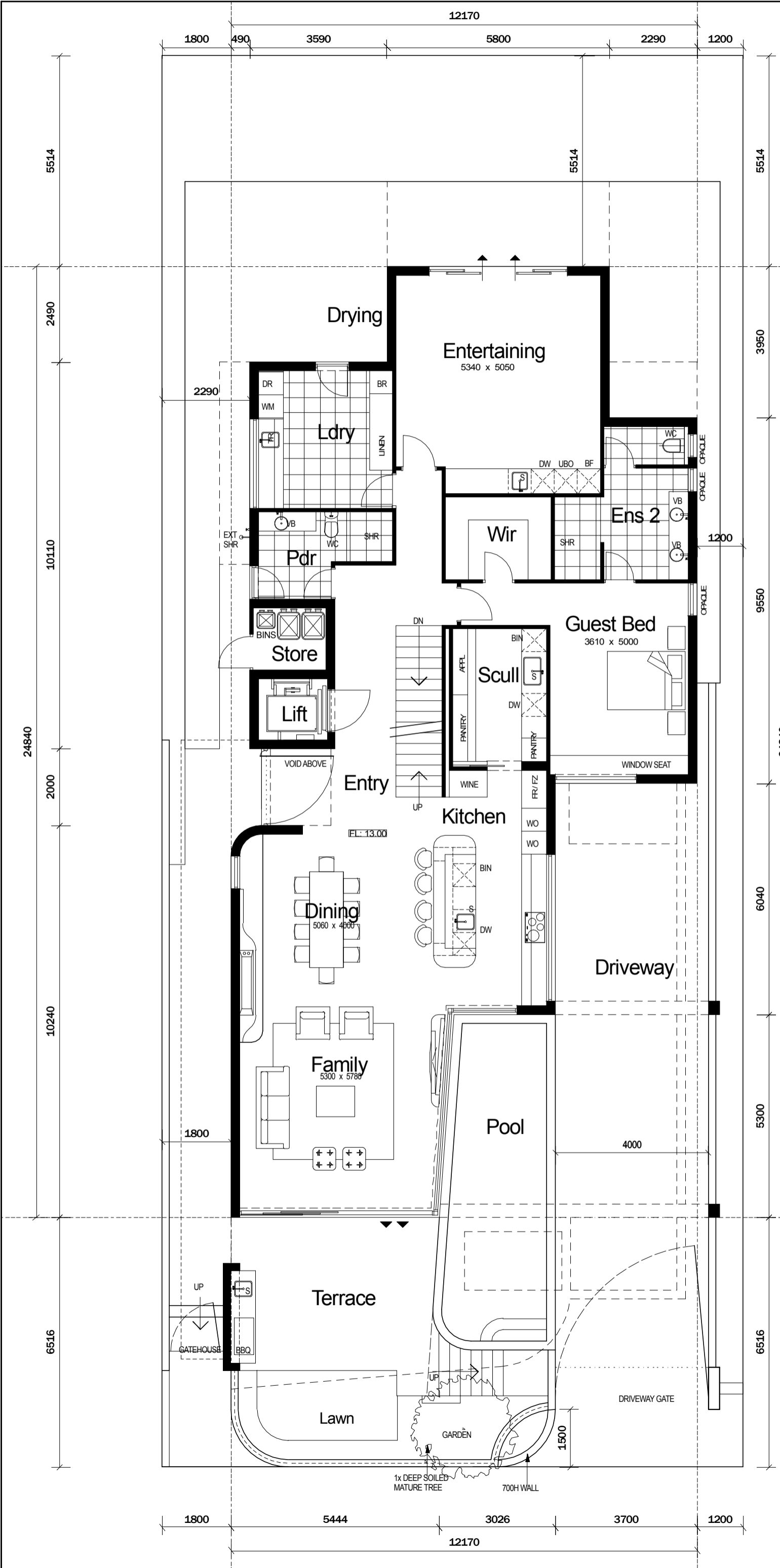
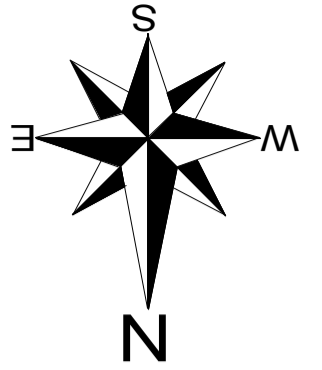
© Copyright 2024 Shayne Le Roy Design Member of the Building Designers Association WA

SCALE 1 : 100	DRAWN: SL	CADFILE: DiVirgilio_b.SKF	PAGE SIZE: A3
-------------------------	---------------------	------------------------------	-------------------------



PO Box 511
 MAYLANDS WA 6931
 E shayne@shayneleroy.com.au
 M: 0417 948666

CONSTRUCTION NOTES:
 1. These plans are the sole property of SHAYNE LE ROY DESIGN & may not be reproduced or modified in whole or in part without written permission.
 2. Contractors shall check all dimensions and conditions on site prior to commencing fabrication or construction. Any discrepancies to be brought to the Designers attention.
 3. Do not scale from Drawings.
 4. Owner to note that all sizes shown are without plaster (where applicable) and should be allowed for.



TOWN OF COTTESLOE

DATE RECEIVED

6 January 2024

AREAS

LOC.	NETT AREA
BASEMENT	~318.000 sq.m (Per 82.060m)
GR'D FL'R	~219.419 sq.m (Per 73.930m)
UP'R FL'R	~223.502 sq.m (Per 80.143m)

BALCONY (FIRST) ~ 36.172 sq.m

TOTAL ~797.093 sq.m

SITE COVERAGE:
 LAND : 559.318m²
 SITE COVER: 219.419m² OR 39.23%

APPROX. F/L AT PORCH

03	UPDATED DA PLANS	06/01/2025
02	REVISED DESIGN FOR DA	25/11/2024
01	DA PLANS COMPLETE	20/05/2024
REV	AMENDMENT	DATE

PROJECT ADDRESS:
**Proposed New Residence for
 Mr & Mrs DiVirgilio
 at Lot 19 (#4) Overton Gardens
 COTTESLOE**

DRAWING: **GROUND FLOOR PLAN**

DRAWING No: **DA-05**

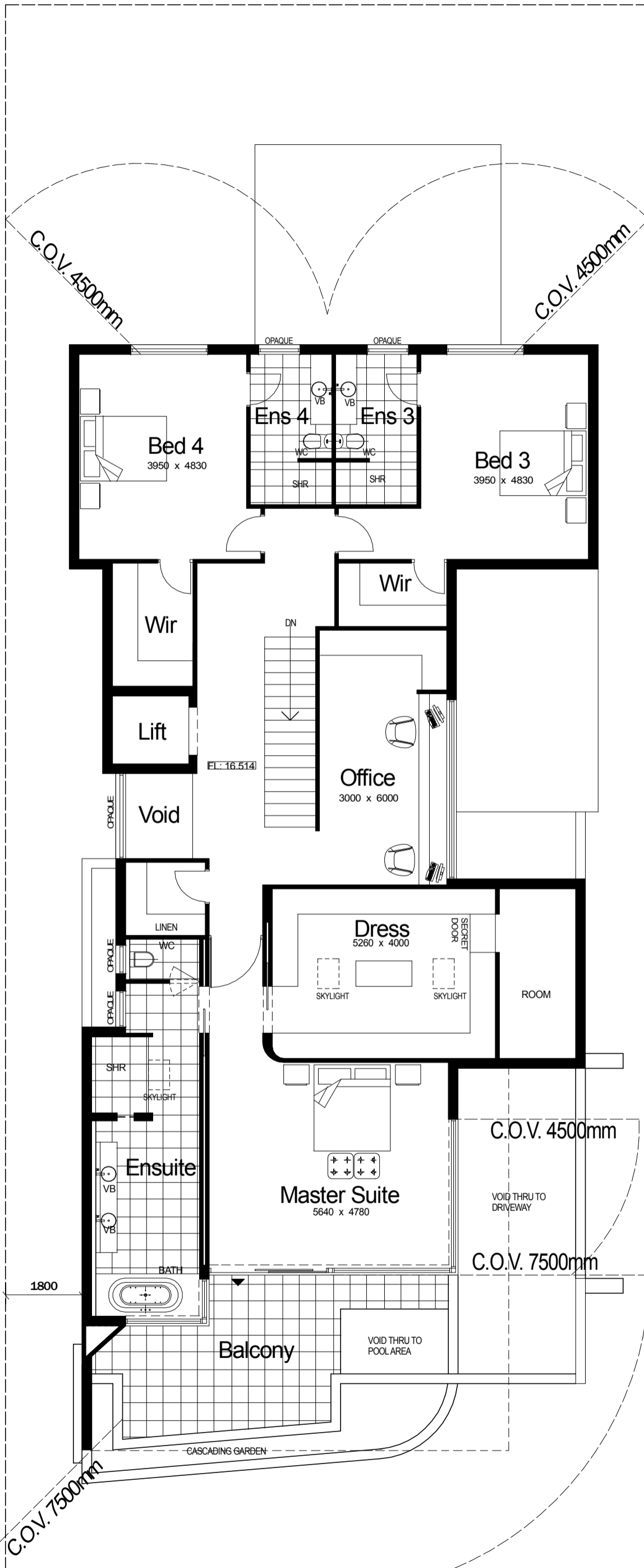
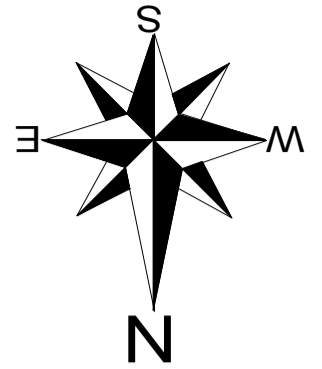
© Copyright 2024 Shayne Le Roy Design Member of the Building Designers Association WA

SCALE	DRAWN:	CADFILE:	PAGE SIZE:
1 : 100	SL	DVirgilio_b.SKF	A3



P0 Box 511 MAYLANDS WA 6931 E shayne@shayneleroy.com.au Mt 0417 948666

CONSTRUCTION NOTES:
 1. These plans are the sole property of SHAYNE LE ROY DESIGN & may not be reproduced or modified in whole or in part without written permission.
 2. Contractors shall check all dimensions and conditions on site prior to commencing fabrication or construction. Any discrepancies to be brought to the Designers attention.
 3. Do not scale from Drawings.
 4. Owner to note that all sizes shown are without plaster (where applicable) and should be allowed for.



TOWN OF COTTESLOE
 DATE RECEIVED
 6 January 2024

APPROVED AT PORCH	03 REVISED DA PLANS FOR DA PLANS COMPLETE	06/01/2025
REV	AMENDMENT	DATE

PROJECT ADDRESS:
**Proposed New Residence for
 Mr & Mrs DiVirgilio
 at Lot 19 (#4) Overton Gardens
 COTTESLOE**

DRAWING:
FIRST FLOOR PLAN

DRAWING No:
DA-06

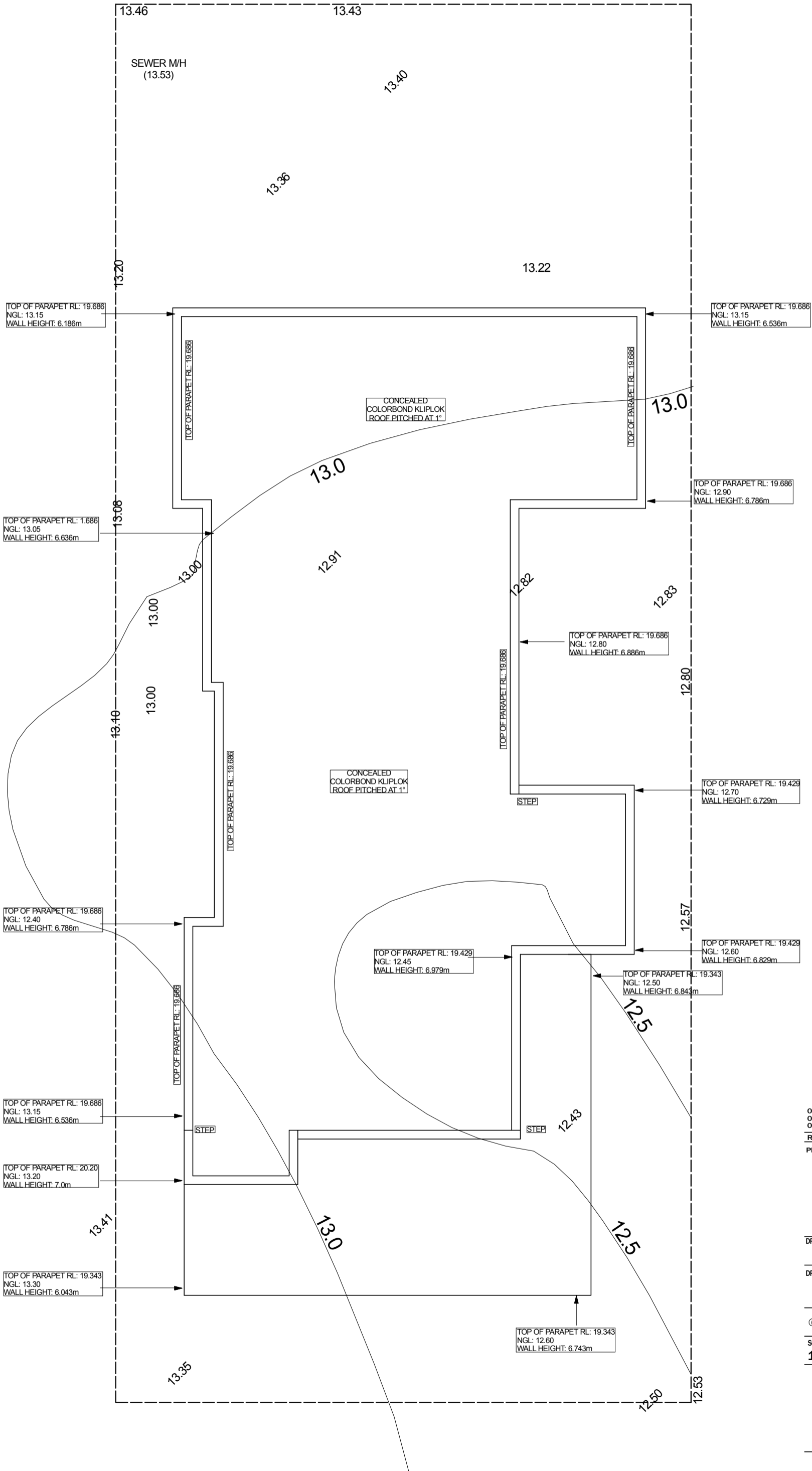
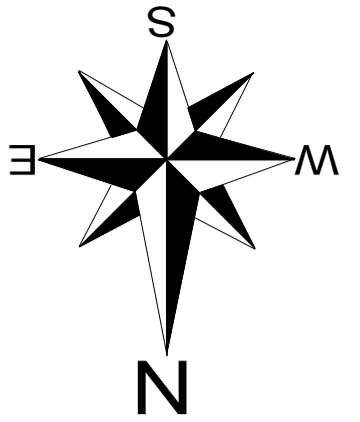
© Copyright 2024 Shayne Le Roy Design Member of the Building Designers Association WA

SCALE 1 : 100	DRAWN: SL	CADFILE: D\Virgilio_b.SKF	PAGE SIZE: A3
-------------------------	---------------------	------------------------------	-------------------------



PO Box 511
 MAYLANDS WA 6931
 E shayne@shayneleroy.com.au
 M: 0417 948666

CONSTRUCTION NOTES:
 1. These plans are the sole property of SHAYNE LE ROY DESIGN & may not be reproduced or modified in whole or in part without written permission.
 2. Contractors shall check all dimensions and conditions on site prior to commencing fabrication or construction. Any discrepancies to be brought to the Designers attention.
 3. Do not scale from Drawings.
 4. Owner to note that all sizes shown are without plaster (where applicable) and should be allowed for.



TOWN OF COTTESLOE
DATE RECEIVED
6 January 2024

03	UPDATED DA PLANS	06/01/2025
02	REVISED DESIGN FOR DA	25/11/2024
01	DA PLANS COMPLETE	20/05/2024

REV	AMENDMENT	DATE
-----	-----------	------

PROJECT ADDRESS:
**Proposed New Residence for
Mr & Mrs DiVirgilio
at Lot 19 (#4) Overton Gardens
COTTESLOE**

DRAWING: **ROOF PLAN**

DRAWING No: **DA-07**

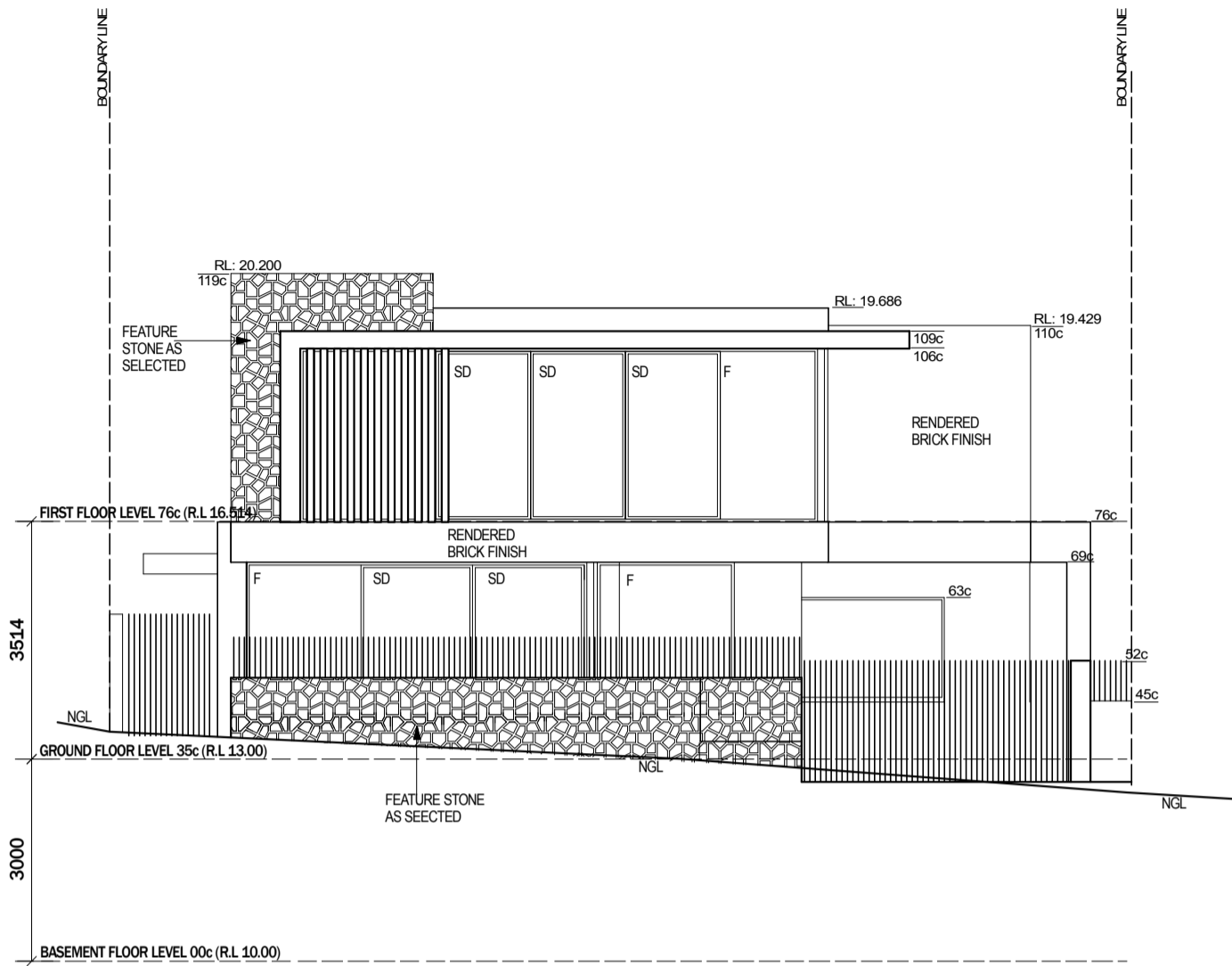
© Copyright 2024 Shayne Le Roy Design Member of the Building Designers Association WA

SCALE: 1 : 100	DRAWN: SL	CADFILE: D\Virgilio_b.SKF	PAGE SIZE: A3
-----------------------	------------------	----------------------------------	----------------------

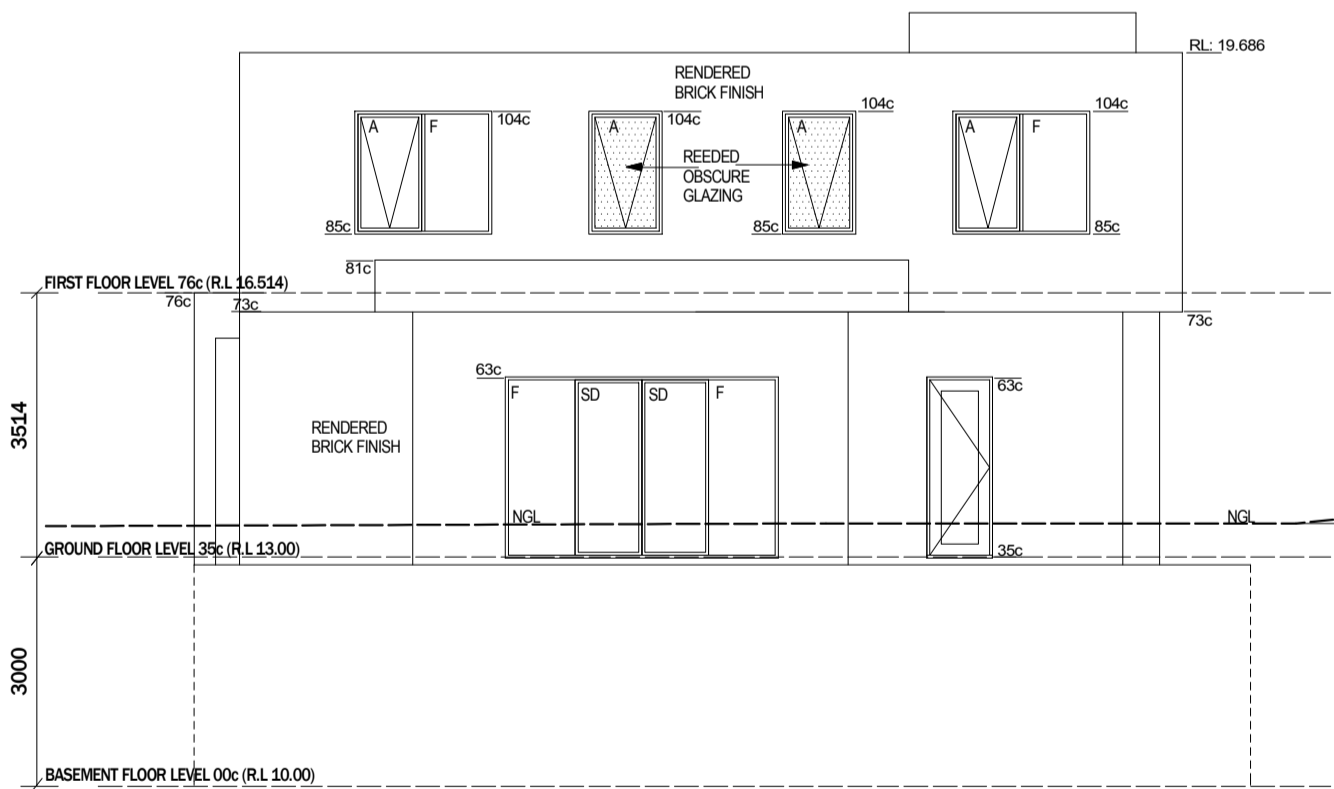


PO Box 511
MAYLANDS WA 6931
E: shayne@shayneleroy.com.au
M: 0417 949866

CONSTRUCTION NOTES:
1. These plans are the sole property of SHAYNE LE ROY DESIGN & may not be reproduced or modified in whole or in part without written permission.
2. Contractors shall check all dimensions and conditions on site prior to commencing fabrication or construction. Any discrepancies to be brought to the Designers attention.
3. Do not scale from Drawings.
4. Owner to note that all sizes shown are without plaster (where applicable) and should be allowed for.



Northern Elevation



Southern Elevation

TOWN OF COTTESLOE
DATE RECEIVED
6 January 2024

03	UPDATED DA PLANS	06/01/2025
02	REVISED DESIGN FOR DA	25/11/2024
01	DA PLANS COMPLETE	20/05/2024

REV	AMENDMENT	DATE
-----	-----------	------

PROJECT ADDRESS:
**Proposed New Residence for
Mr & Mrs DiVirgilio
at Lot 19 (#4) Overton Gardens
COTTESLOE**

DRAWING: **ELEVATIONS**

DRAWING No: **A-08**

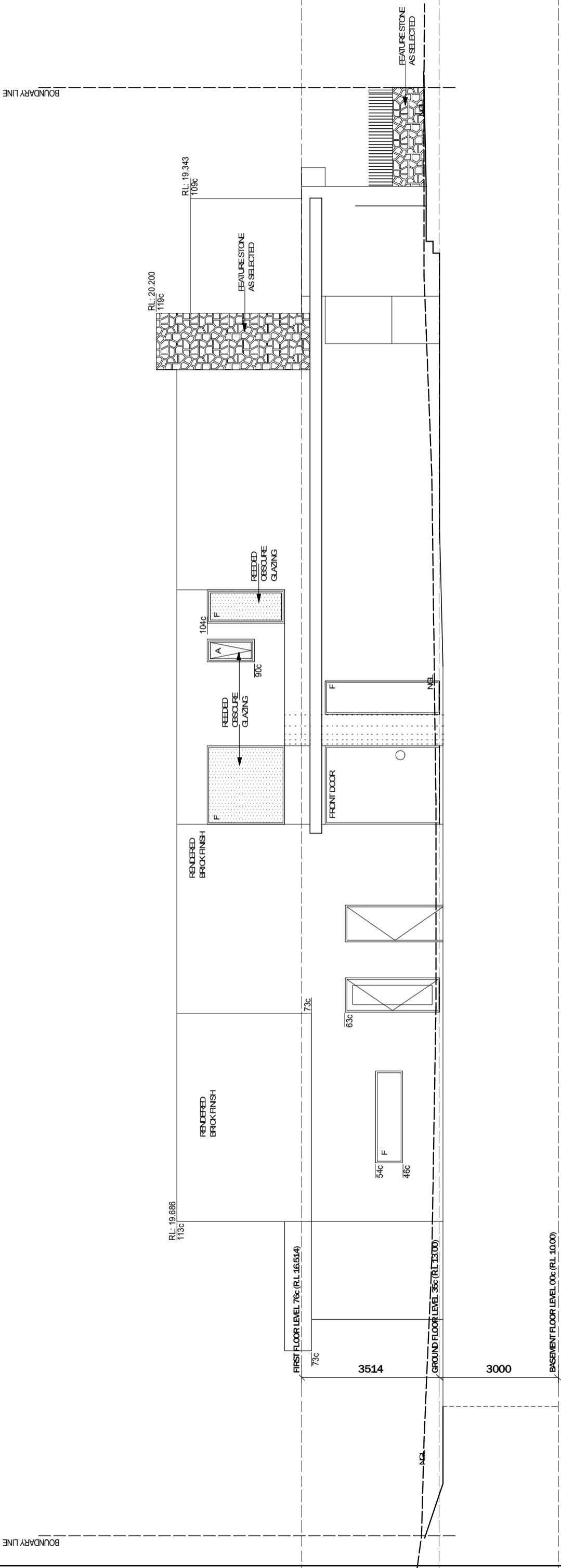
© Copyright 2024 Shayne Le Roy Design Member of the Building Designers Association WA

SCALE 1 : 100	DRAWN: SL	CADFILE: DiVirgilio_b.SKF	PAGE SIZE: A3
-------------------------	---------------------	------------------------------	-------------------------



PO Box 511
MAYLANDS WA 6931
E shayne@shayneleroy.com.au
M: 0417 949866

CONSTRUCTION NOTES:
1. These plans are the sole property of SHAYNE LE ROY DESIGN & may not be reproduced or modified in whole or in part without written permission.
2. Contractors shall check all dimensions and conditions on site prior to commencing fabrication or construction. Any discrepancies to be brought to the Designers attention.
3. Do not scale from Drawings.
4. Owner to note that all sizes shown are without plaster (where applicable) and should be allowed for.



Eastern Elevation

TOWN OF COTTESLOE
 DATE RECEIVED
 6 January 2024

03	UPDATED DA PLANS	06/01/2025
02	REVISED DESIGN FOR DA	25/11/2024
01	DA PLANS COMPLETE	20/05/2024

REV	AMENDMENT	DATE
-----	-----------	------

PROJECT ADDRESS:
**Proposed New Residence for
 Mr & Mrs DiVirgilio
 at Lot 19 (#4) Overton Gardens
 COTTESLOE**

DRAWING: **ELEVATION**

DRAWING No: **DA-09**

© Copyright 2024 Shayne Le Roy Design  Member of the Building Designers Association WA

SCALE 1 : 100	DRAWN: SL	CADFILE: DiVirgilio_b.SKF	PAGE SIZE: A3
-------------------------	---------------------	------------------------------	-------------------------

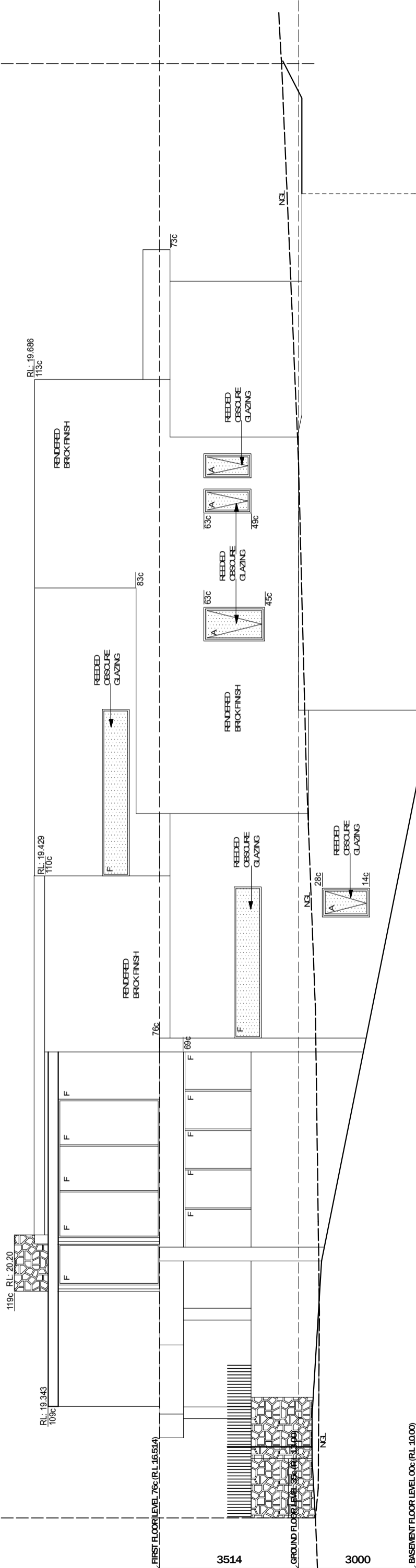


PO Box 511
 MAYLANDS WA 6931
 E shayne@shayneleroy.com.au
 M: 0417 948666

CONSTRUCTION NOTES:
 1. These plans are the sole property of SHAYNE LE ROY DESIGN & may not be reproduced or modified in whole or in part without written permission.
 2. Contractors shall check all dimensions and conditions on site prior to commencing fabrication or construction. Any discrepancies to be brought to the Designers attention.
 3. Do not scale from Drawings.
 4. Owner to note that all sizes shown are without plaster (where applicable) and should be allowed for.

BOUNDARY LINE

BOUNDARY LINE



Western Elevation

TOWN OF COTTESLOE

DATE RECEIVED

6 January 2024

03	UPDATED DA PLANS	06/01/2025
02	REVISED DESIGN FOR DA	25/11/2024
01	DA PLANS COMPLETE	20/05/2024

REV	AMENDMENT	DATE
-----	-----------	------

PROJECT ADDRESS:

**Proposed New Residence for
Mr & Mrs DiVirgilio
at Lot 19 (#4) Overton Gardens
COTTESLOE**

DRAWING: **ELEVATION**

DRAWING No: **DA-10**

© Copyright 2024 Shayne Le Roy Design  Member of the Building Designers Association WA

SCALE 1 : 100	DRAWN: SL	CADFILE: DiVirgilio_b.SKF *	PAGE SIZE: A3
-------------------------	---------------------	--------------------------------	-------------------------



PO Box 511
MAYLANDS WA 6931

E shayne@shayneleroy.com.au
M: 0417 948666

CONSTRUCTION NOTES:

- These plans are the sole property of SHAYNE LE ROY DESIGN & may not be reproduced or modified in whole or in part without written permission.
- Contractors shall check all dimensions and conditions on site prior to commencing fabrication or construction. Any discrepancies to be brought to the Designers attention.
- Do not scale from Drawings.
- Owner to note that all sizes shown are without plaster (where applicable) and should be allowed for.