

CONTEMPO
DESIGN

TOWN OF COTTESLOE

DATE RECEIVED

26 April 2024

DOUBLE STOREY

#3 LILLIAN STREET
COTTESLOE

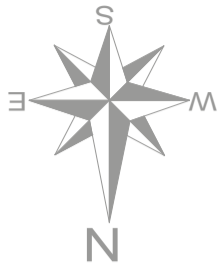
DEVELOPMENT APPROVAL

REV **L**

Contact Details:

CONTEMPO DESIGN
JACK COLOMBERA

P : +61 481 463 552
E : email@contempo.design
W : www.contempo.design



LEGEND	Symbol	Description
		Power Dome
		Power Pole
		Phone Pits
		Water Conn.
		Top Pillar/Post
		Top Wall
		Top Retaining
		Top Fence

LOT MISCLOSE
0.000 m

DISCLAIMER:

Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.

DISCLAIMER:

Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:

Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:

Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:

Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

NOTE:

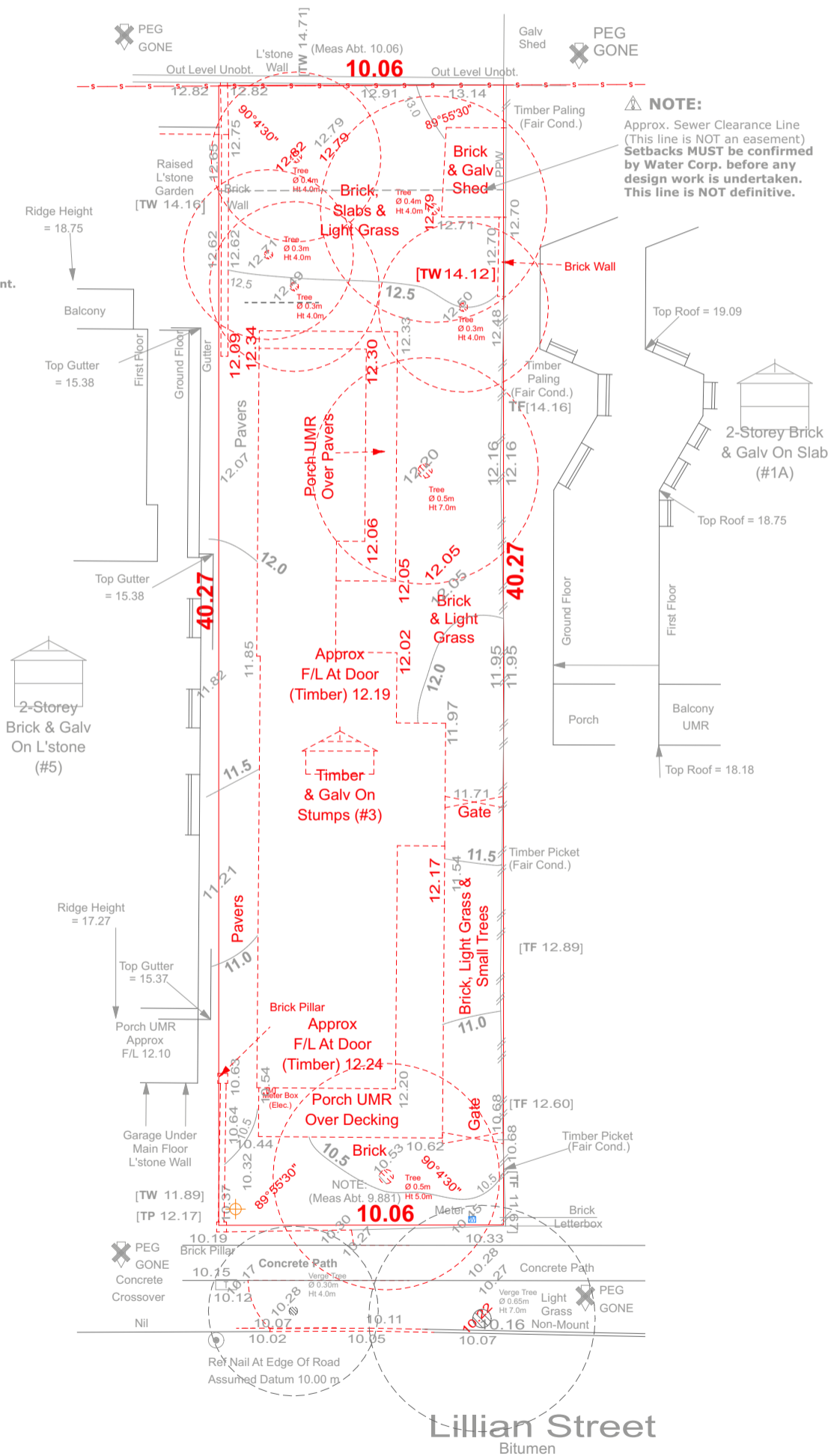
Approximate Sewer Only
Check Water Corporation For
Junction Invert and Depth
Sewer Junction
Up: 0.9
Approx. Inv: 9.8
Approx. Depth: 2.2
Approx. Sewer Only
Check Water Corp.

BEWARE:

Deep sewer junction.
Check With Water Corp
BUILDER and PLUMBER
check GRADE.

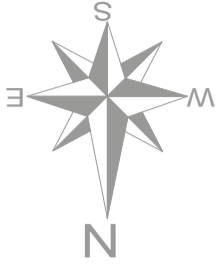
NOTE:

Approx. Sewer Clearance Line
(This line is NOT an easement)
Setbacks MUST be confirmed
by Water Corp. before any
design work is undertaken.
This line is NOT definitive.



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SITE - DEMO PLAN
1:200



LEGEND	Description
	Power Dome
	Power Pole
	Phone Pits
	Water Conn.
	Top Pillar/Post
	Top Wall
	Top Retaining
	Top Fence

LOT MISCLOSE
0.000 m

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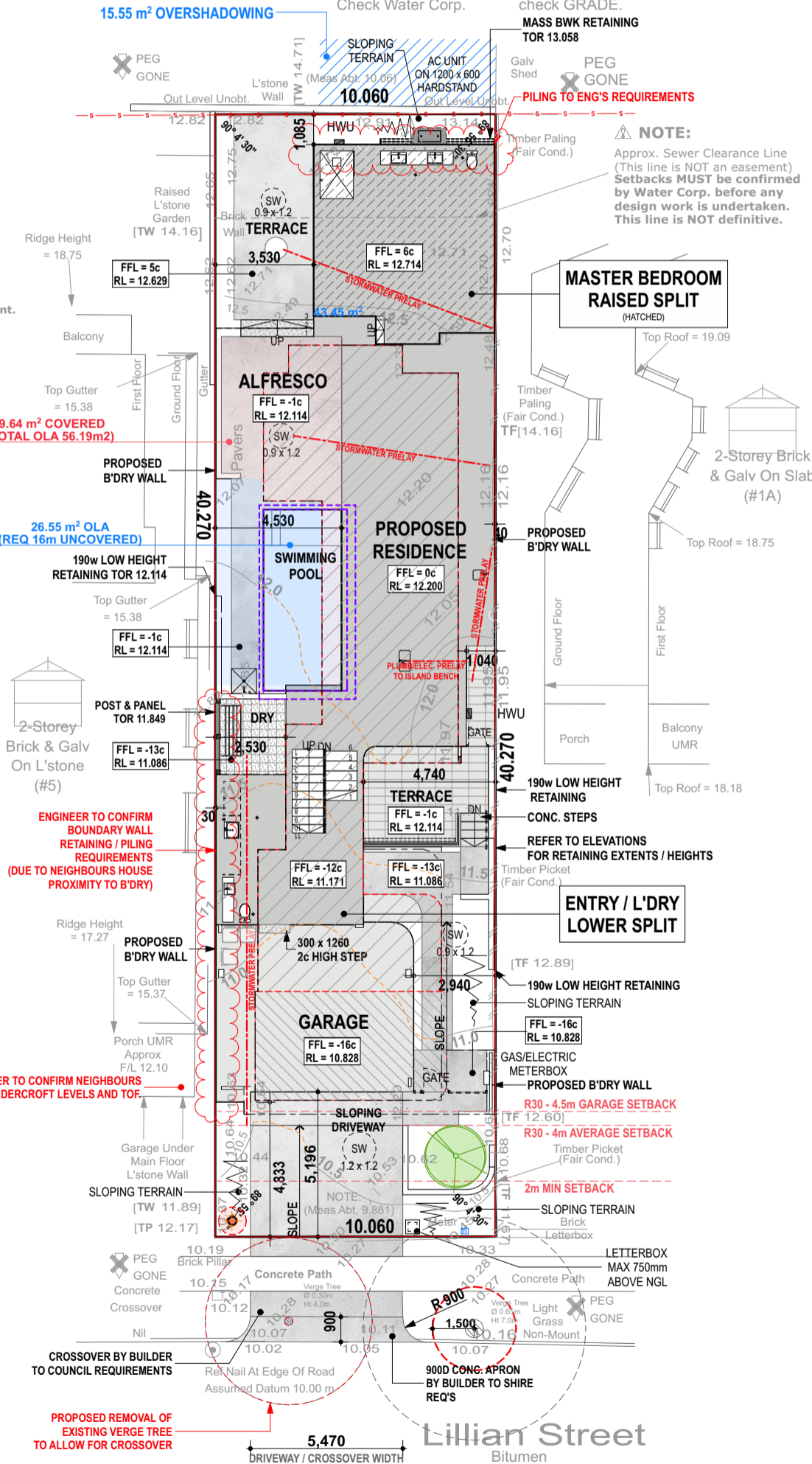
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Check Water Corporation For
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Up: 0.9
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Approx. Sewer Only
Check Water Corp.

BEWARE:

Deep sewer junction.
Check With Water Corp
BUILDER and PLUMBER
check GRADE.
MASS BWK RETAINING
TOR 13.058

NOTE:

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SITE COVERAGE

ZONED	R30
% ALLOWED	55%
SITE AREA	405.12m ²
SITE COVER	200.64m ²
SITE COV. = 49.5%	

SOAKWELL CALCULATIONS:

Soak Well Type	No.	Capacity
SW 900x1200	3	2.3 m3
SW 1200x1200	1	1.4 m3
Total Capacity		3.6 m3
Roof Area GF		103.0 m2
Roof Area UF		153.0 m2
Total Area		256.0 m2
Capacity Required (Area x 0.0125)		3.2 m3
Extra Capacity Provided		0.4 m3

STORMWATER NOTE:

- STORMWATER DRAINAGE TO SHIRE REQUIREMENTS AND IN ACCORDANCE WITH NCC PART 3.5.2, 3.1.2 & AS/NZ 3500.3, AS/NZ 3500.5
- SOAKWELL LOCATIONS SHOWN AS A GUIDE ONLY. CONTRACTOR TO CONFIRM LOCATIONS ON SITE.

SWIMMING POOL SAFETY NOTES:

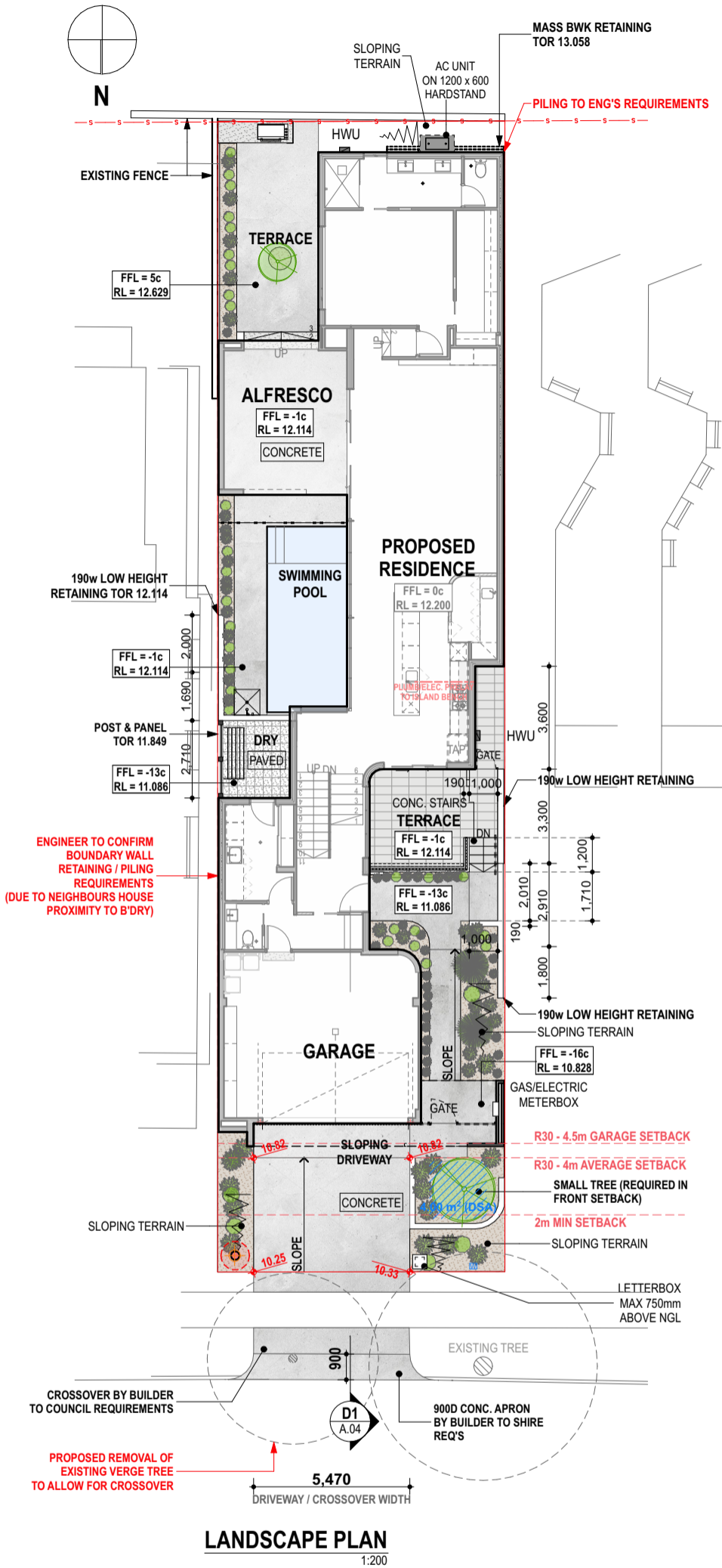
- ALL POOL SAFETY BARRIERS SUCH AS FENCING, WINDOWS AND SELF CLOSING GATES SURROUNDING THE SWIMMING POOL TO BE IN ACCORDANCE WITH AS 1926.1 - 2012 (PART 1) & 1926.2 - 2007 (PART 2)

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SITE PLAN
1:200



LANDSCAPING LEGEND:

IMAGE	SYMBOL	BOTANICAL NAME / DESCRIPTION	HEIGHT / SIZE / LITRES
		<i>Pyrus calleryana</i> 'Capital'	7-10m High, 2-3m diameter at maturity min. 35L "STANDARD TREE" TO COUNCIL REQ'
		<i>Dianella revoluta</i> (1m Mature Height)	0.5-0.7 High, 1.5m diameter at maturity Pot Size: 1 Litre
		<i>Eremophila Glabra</i> Carramar Carpet	20cm High, 2m Spread Pot Size: 2 Litres
		SCREENING TREES EG. YUCCA	3-4m High, 2m diameter at maturity Pot Size: 90 Litres
		Lawn - kikuyu	
		Pine Bark Mulch	MIN. 70mm Thick
		Concrete	As Selected by owner
		Paving	As Selected by owner

LANDSCAPING NOTE:

PLANTING:

- ALL LANDSCAPING AND PLANT SELECTIONS TO BE IN ACCORDANCE WITH COUNCIL REQUIREMENTS.
- ALL GARDEN BEDS TO BE MULCHED MIN. 75mm

IRRIGATION:

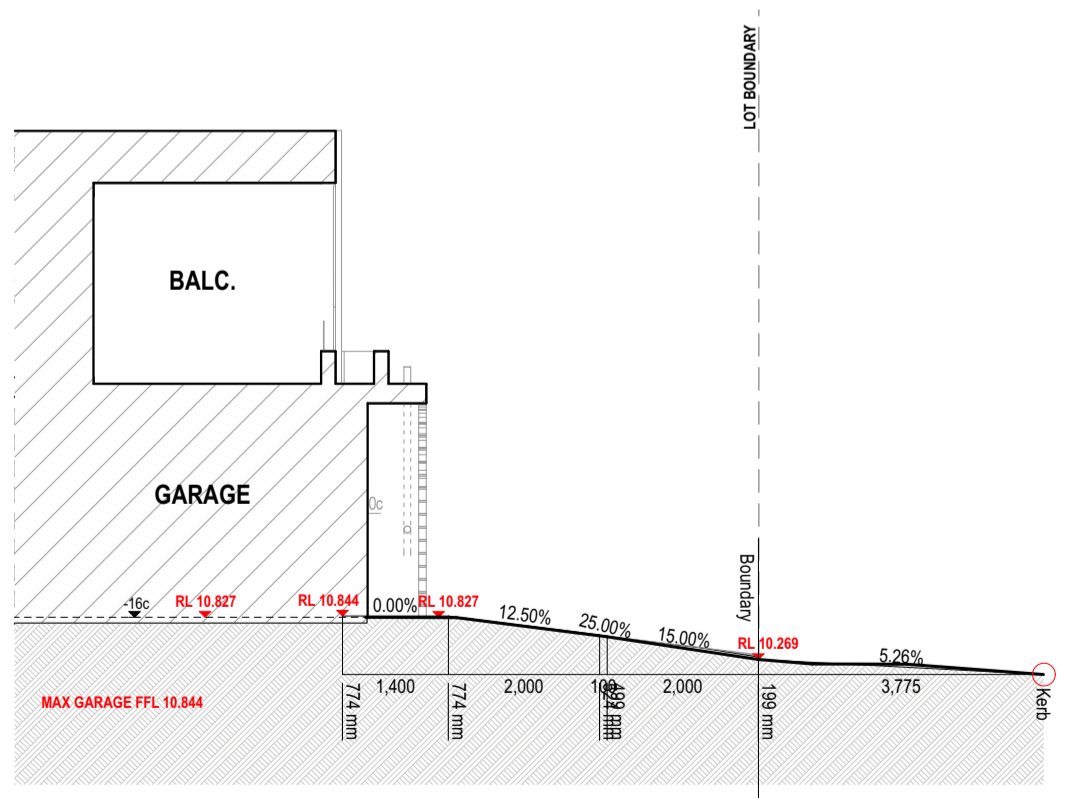
- ALL GARDEN BEDS & TURFED AREAS TO BE IRRIGATED VIA FULLY AUTOMATIC SYSTEM FROM MAINS WATER.
- ALL TURF TO BE IRRIGATED VIA POP UP SPRINKLERS.
- ALL SHRUBS TO BE IRRIGATED VIA DRIP LINE.
- ALL TREES TO BE IRRIGATED VIA BUBBLERS.
- IRRIGATION SYSTEM SHALL HAVE MINIMUM TWO ZONES TO ALLOW TURF AND GARDEN BEDS/TREES TO BE WATERED SEPARATELY.
- IRRIGATION SYSTEM TO BE PROGRAMMED TO PERMITTED WATERING DAYS AND DURATION IN ACCORDANCE TO LOCAL COUNCIL GUIDELINES.
- RETICULATION PLUMBING TO BE CONFIRMED ON SITE BY LANDSCAPER

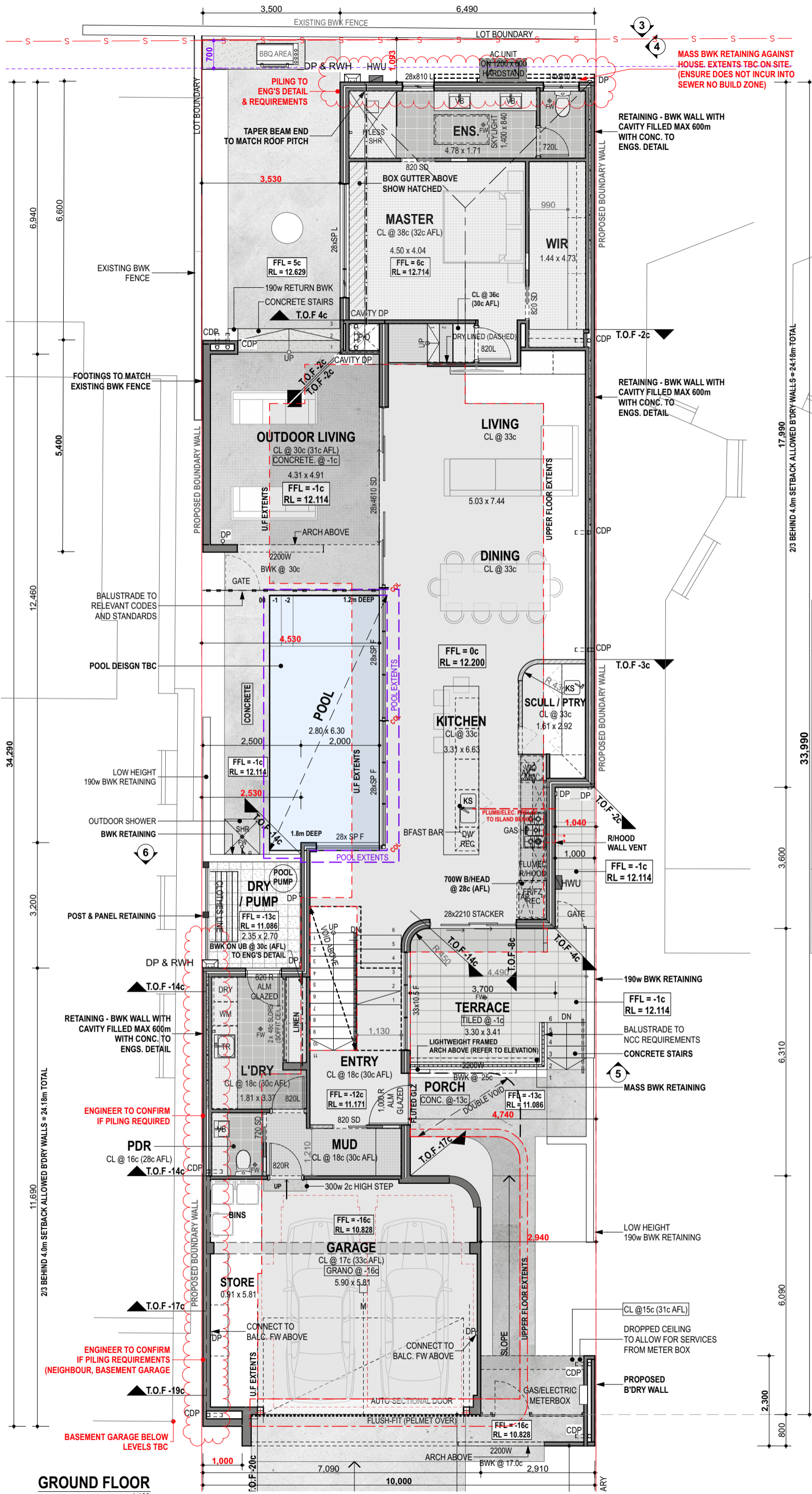
LANDSCAPING FRONT SETBACK

FRONT SETBACK AREA -	40.17m ²
IMPERVIOUS AREA -	21.85m ²
TOTAL IMPERVIOUS AREA -	54% (ALLOWED 50%)

ALL LANDSCAPING BY OWNER

ALL PAVING & EXT CONC. BY BUILDER





AREAS:

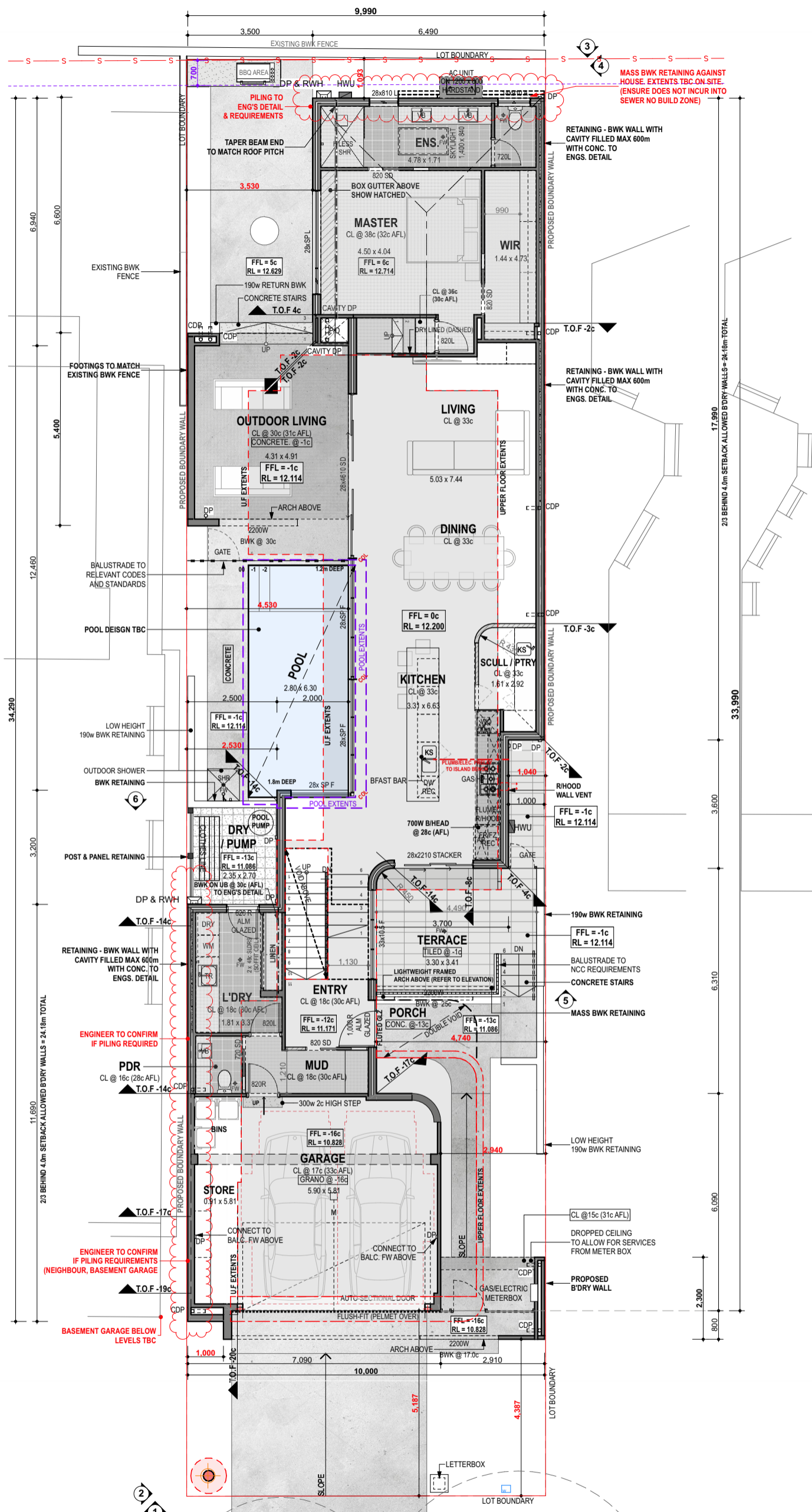
	PERIM. (m)	AREA (m ²)
GF House Area	77.77	157.62
UF House Area	70.50	121.67
Garage & ST. Area	26.75	43.01
UF Balcony Area	33.67	27.93
Outdoor Living Area	19.80	23.17
Outdoor Dining Area	16.41	16.88
Porch Area	11.02	7.59
		397.87 m²

ROOF AREAS:

GF Roof Area	102.59
UF Roof Area	152.24

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GROUND FLOOR
1:100



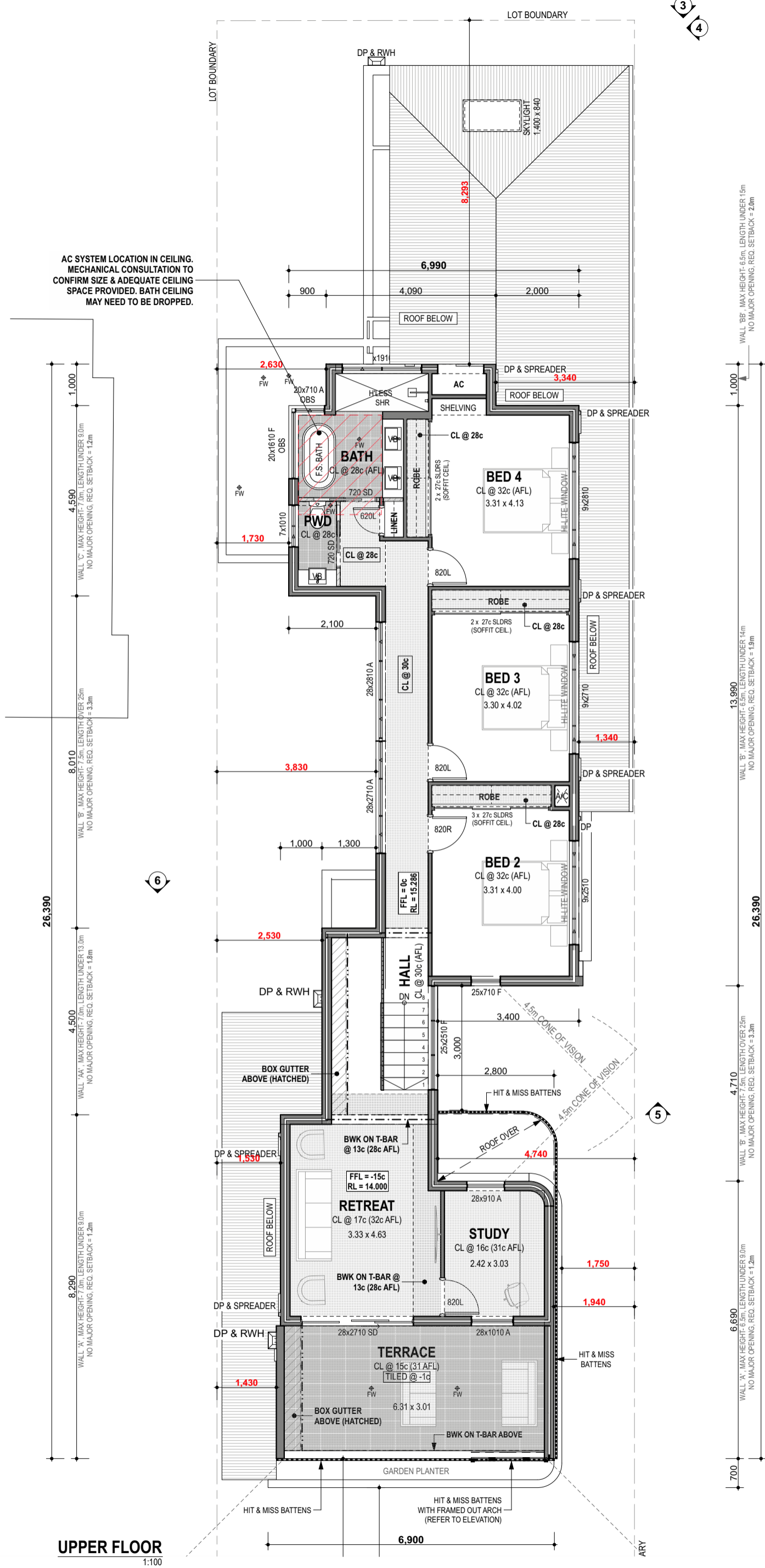
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NOT TO SCALE

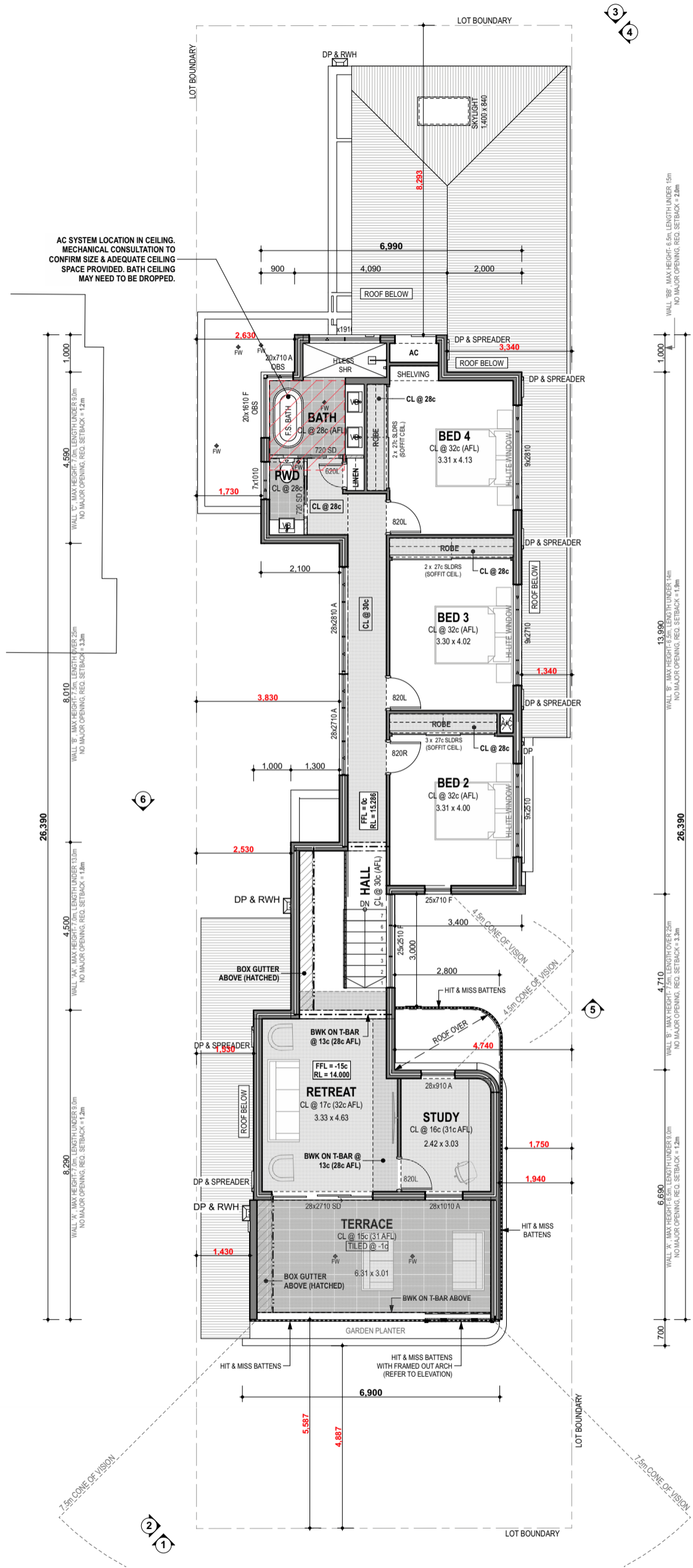
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GF Roof Area		102.59
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UPPER FLOOR
1:100



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NOT TO SCALE

PROJECT
MACKOSKI RESIDENCE
 #3 LILLIAN STREET
 COTTESLOE

CLIENT
 KATIE & SIMON
 DRAWING TITLE
 UPPER FLOOR PLAN
 'NTS'

JOB No.
J22-080
 ISSUE
 DEVELOPMENT
 APPROVAL

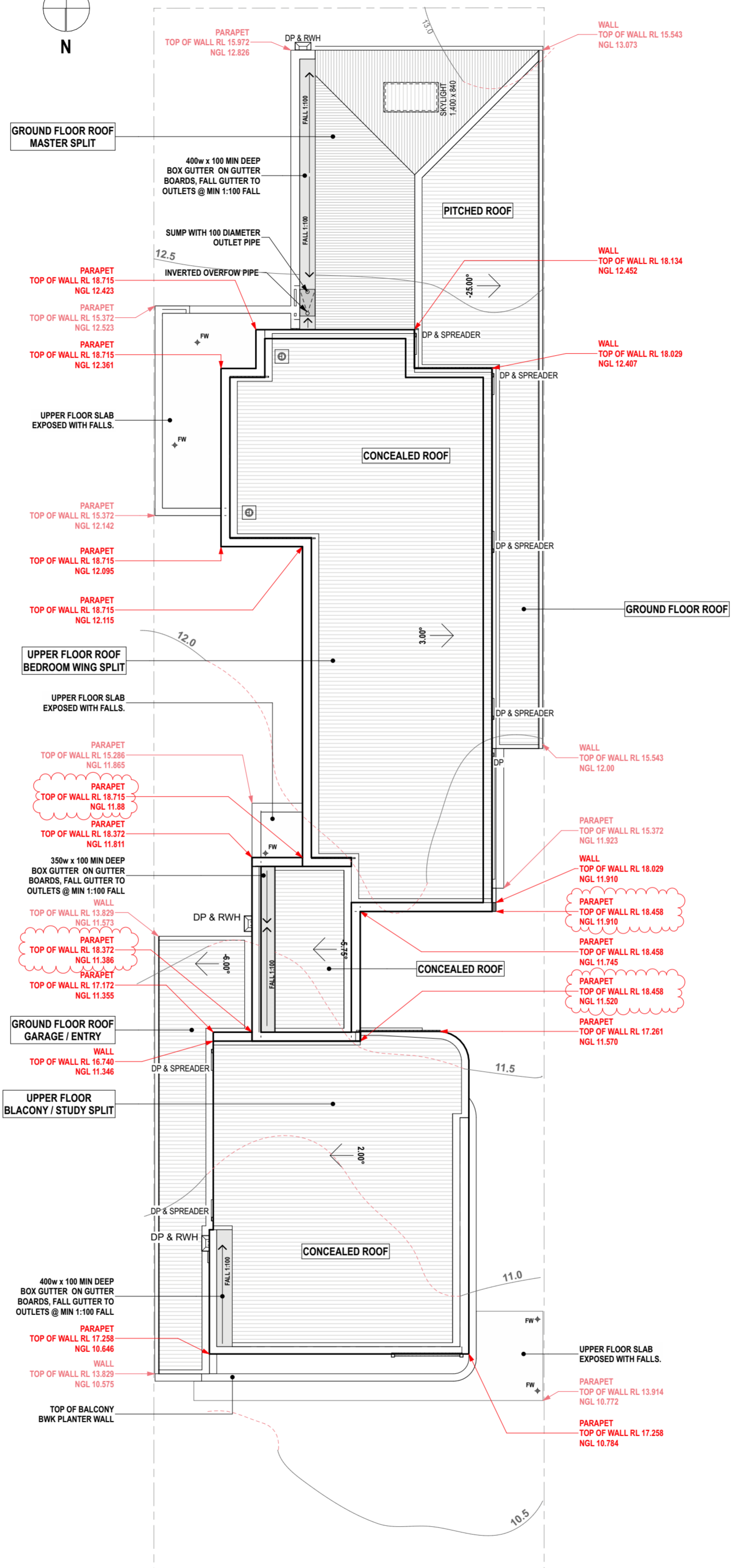
SCALE
 1:100
 SHEET SIZE
 ISO A3

SHEET
A.08
 REV.
 L

CONTEMPO
 D E S I G N

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 ACN: 168 686 169
 ABN: 46 618 686 169
 M 0433 255 725
 E email@contempo.design
 W www.contempo.design

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UF ROOF PLAN
1:100

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REV	REVISION	BY	DATE	TITLE	JOB No.
A-G	CONCEPT	JC	16.08.2023	ROOF PLAN	J22-080
H	PRELIM DEVELOPMENT APPROVAL	JC	22.12.2023	CLIENT	
I	UPDATES	JC	08.01.2024	KATIE & SIMON	SIZE
J	DEVELOPMENT APPROVAL	JC	24.01.2024	ADDRESS	ISO A2
K	DA - ROOF PLAN	JC	08.02.2024	#3 LILLIAN STREET	SCALE
L	DA - PLANNING AMENDMENTS (WALL HEIGHTS)	JC	25.04.2024	COTTESLOE	1:100
				SHIRE	SHEET
				TOWN OF COTTESLOE	REV
					A.09
					L

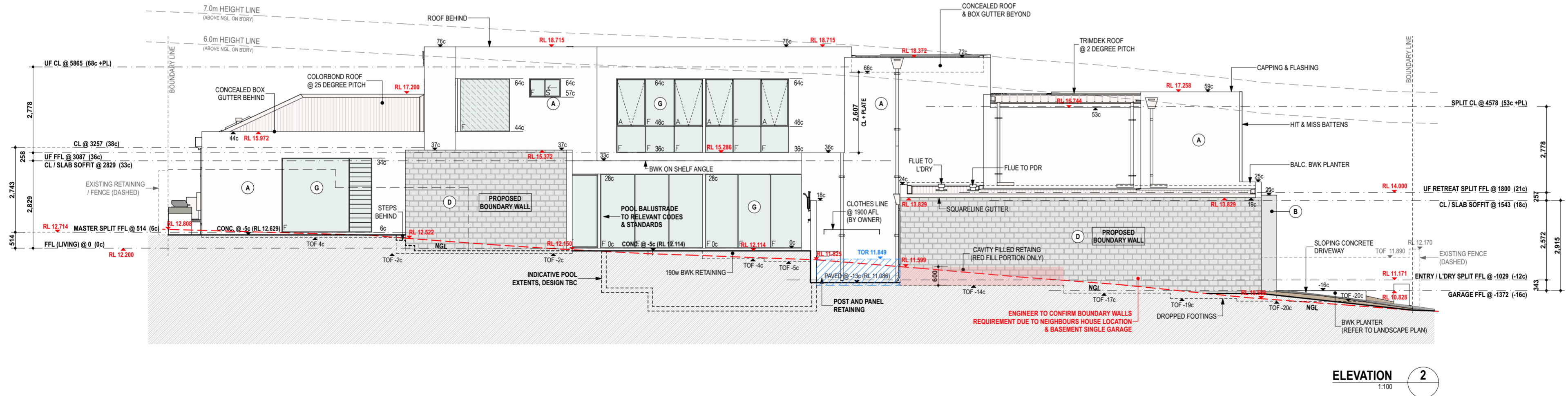
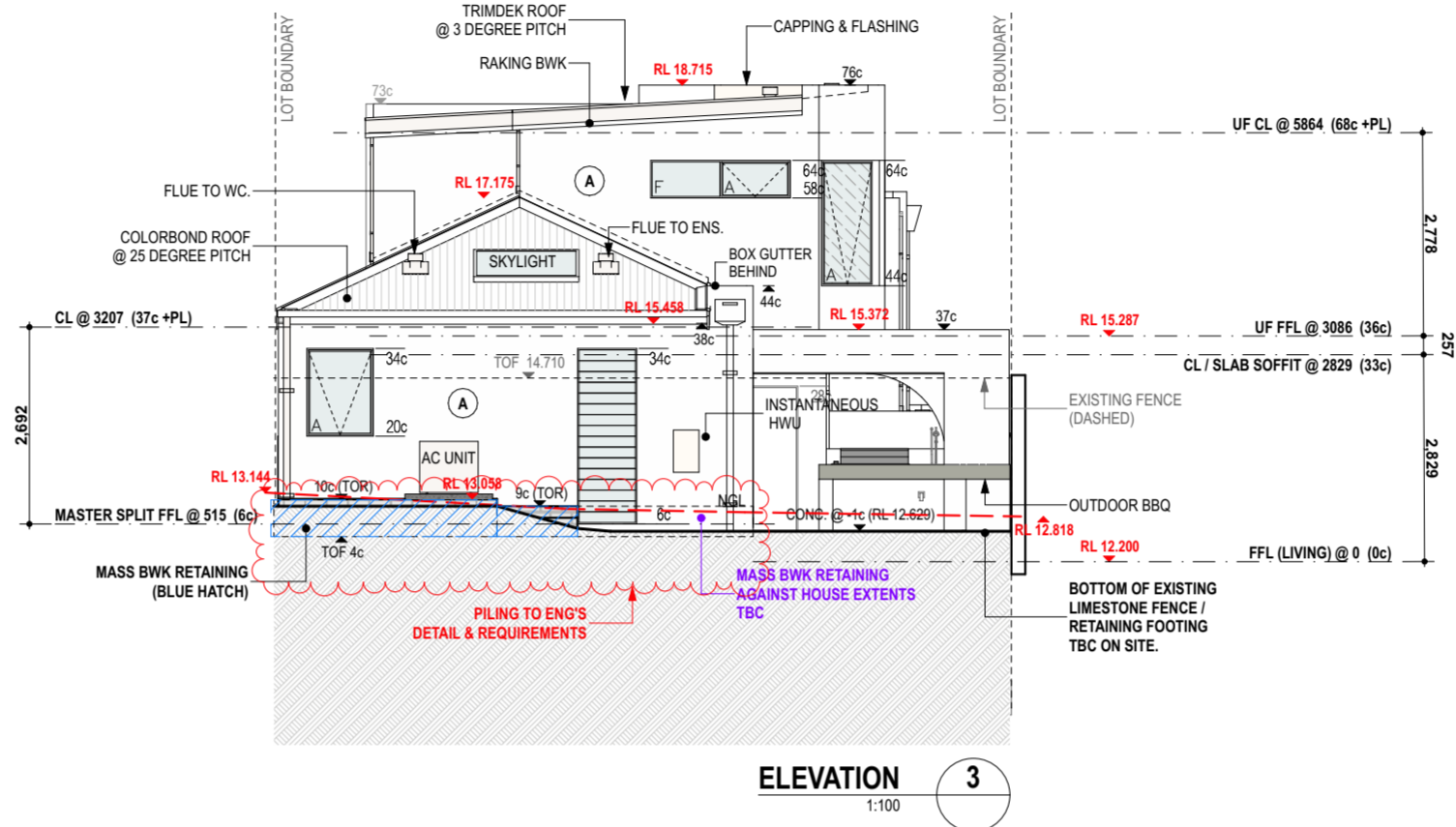
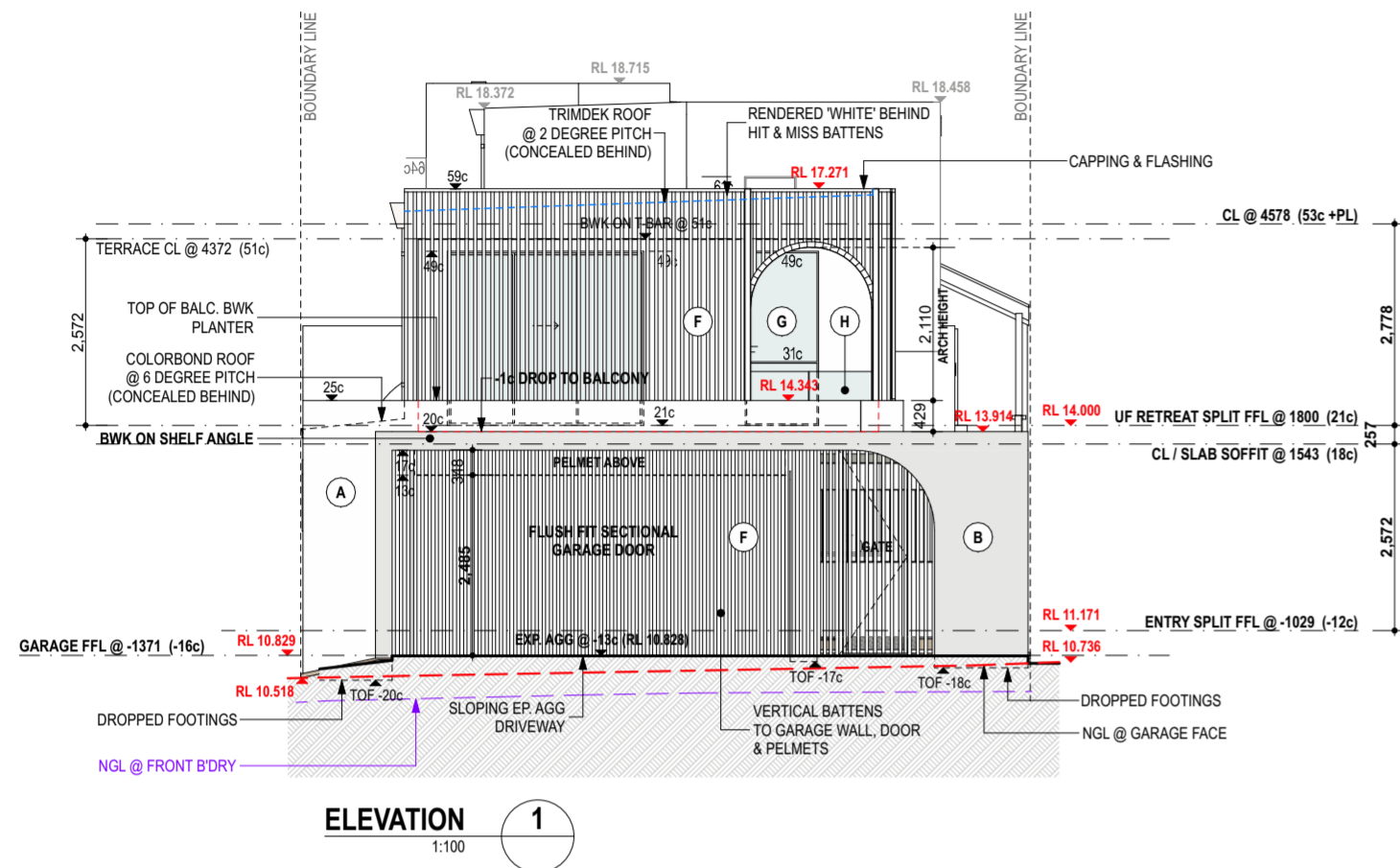
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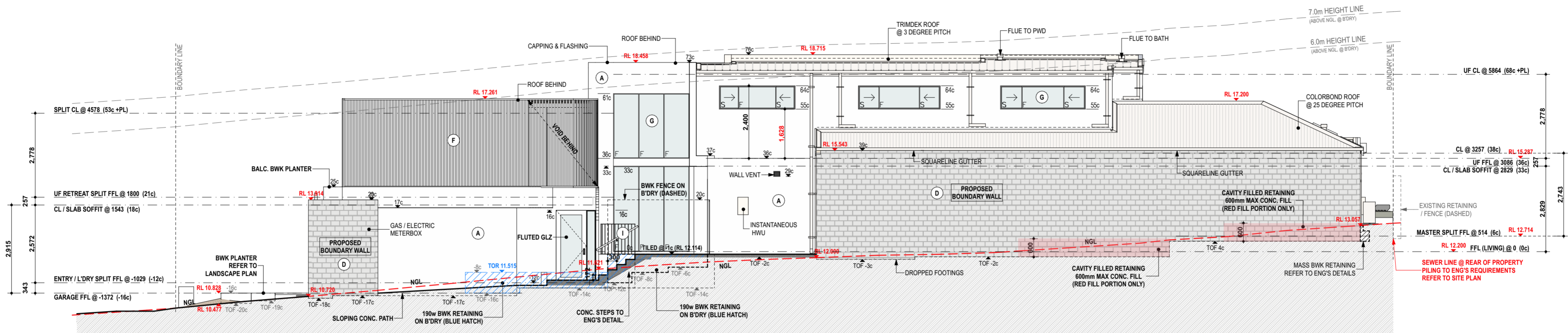
MATERIAL SCHEDULE

- (A) - ACRYLIC RENDER
COLOUR: WHITE
- (B) - ACRYLIC RENDER
COLOUR: LIGHT GREY (TBC)
- (C) - AXON SCYON 'VERTICAL'
COLOUR: WHITE
- (D) - 2c FACE BRICK
TYPE: TBC
- (E) - FEATURE 1c FACE BWK
COLOUR: TBC
- (F) - ALUMINIUM HIT & MISS CLIP ON BATTENS
COLOUR: TBC
- (G) - ALUMINIUM DOOR & WINDOW FRAMES
COLOUR: TBC
- (H) - FRAMELESS GLASS BALUSTRADE
FIXING - TBC
- (I) - ALUMINIUM BALUSTRADE
FIXING - TBC

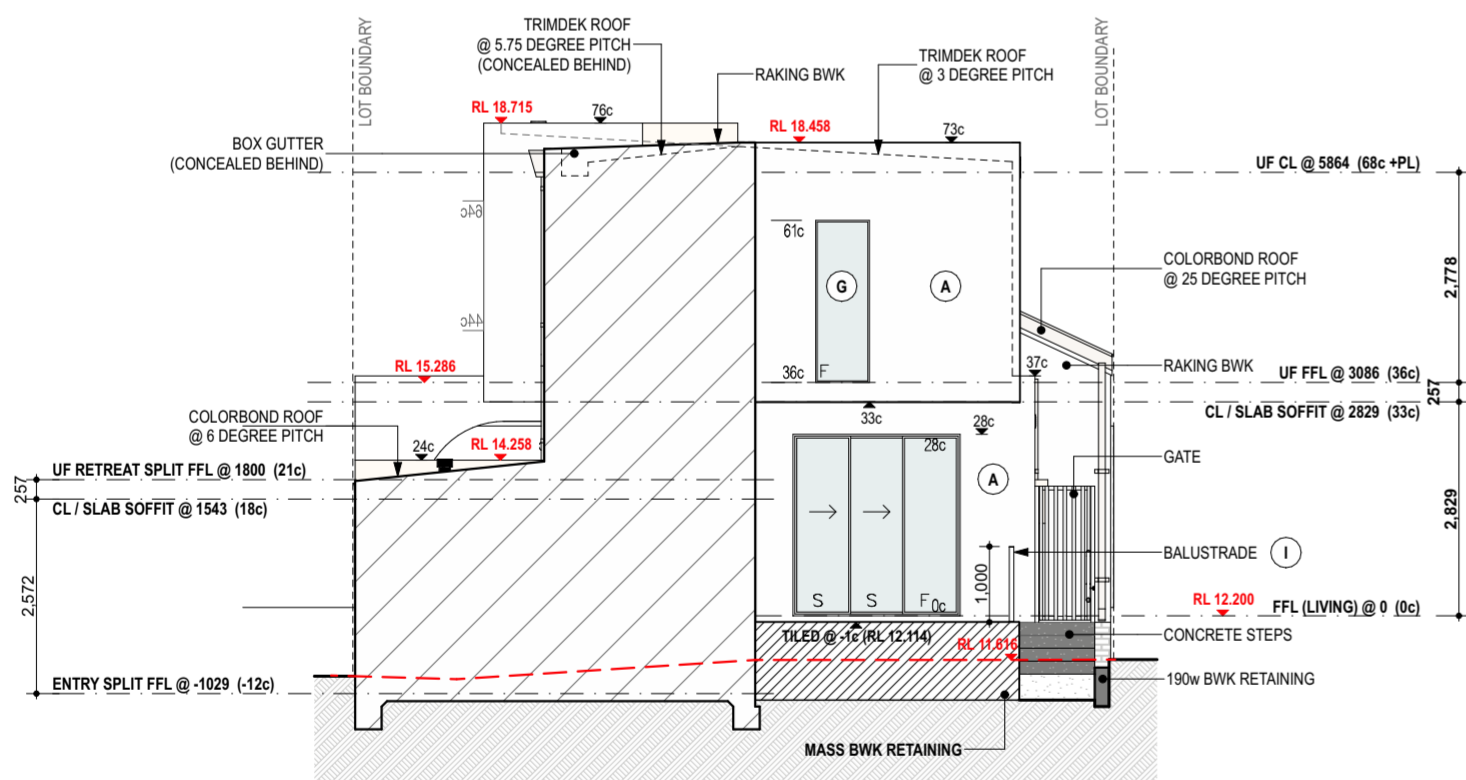


REV	REVISION	BY	DATE	TITLE	JOB No.
A-G	CONCEPT	JC	16.08.2023	ELEVATIONS	J22-080
H	PRELIM DEVELOPMENT APPROVAL	JC	22.12.2023		
I	UPDATES	JC	08.01.2024	CLIENT KATIE & SIMON	
J	DEVELOPMENT APPROVAL	JC	24.01.2024	ADDRESS #3 LILLIAN STREET COTTESLOE	
K	DA - ROOF PLAN	JC	08.02.2024	SHIRE TOWN OF COTTESLOE	
L	DA - PLANNING AMENDMENTS (WALL HEIGHTS)	JC	25.04.2024		

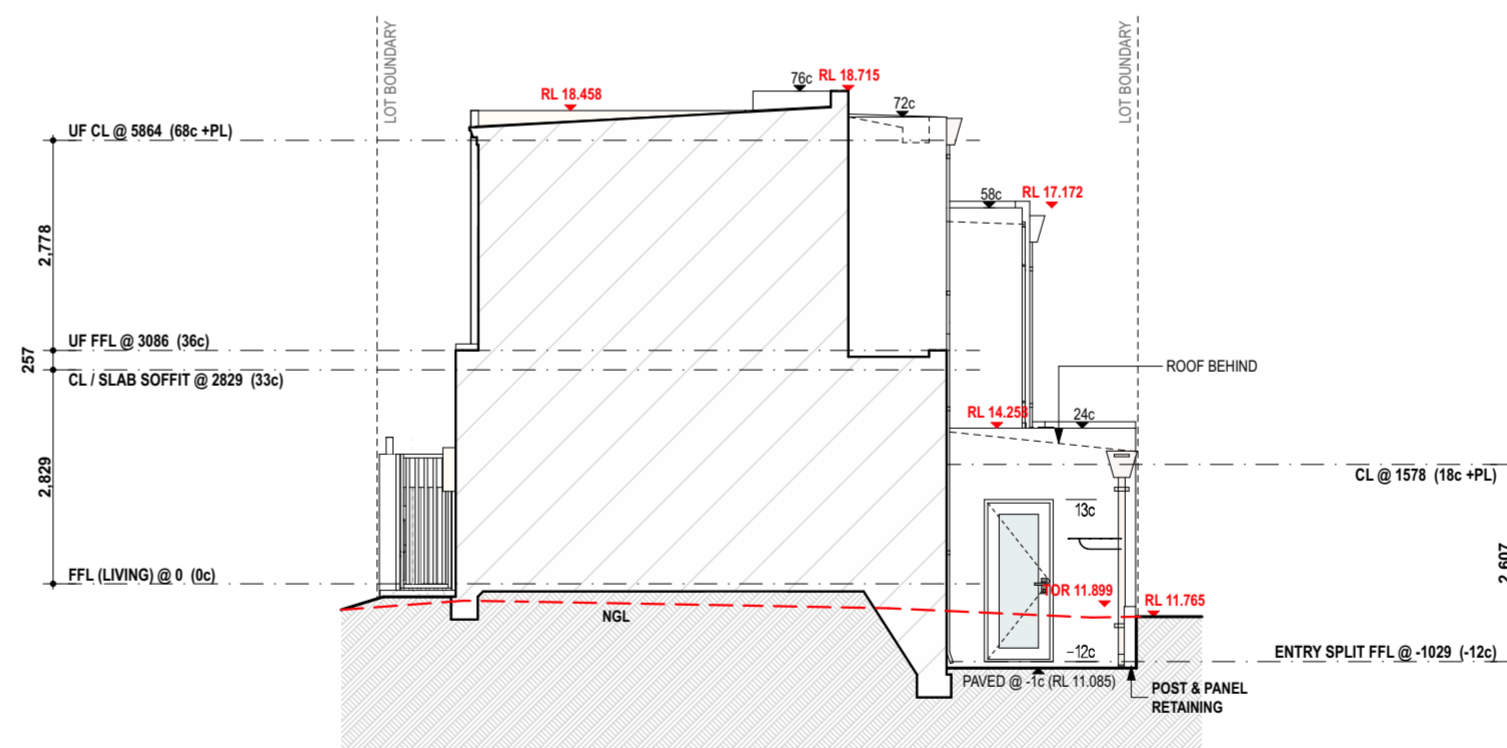
SIZE	SCALE	SHEET	REV.
ISO A3	1:100	A.10	L



ELEVATION 4
1:100



ELEVATION 5
1:100



ELEVATION 6
1:100

MATERIAL SCHEDULE

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- (B) - ACRYLIC RENDER COLOUR: LIGHT GREY (TBC)
- (C) - AXON SCYON 'VERTICAL' COLOUR: WHITE
- (D) - 2c FACE BRICK TYPE: TBC
- (E) - FEATURE 1c FACE BWK COLOUR: TBC
- (F) - ALUMINIUM HIT & MISS CLIP ON BATTENS COLOUR: TBC
- (G) - ALUMINIUM DOOR & WINDOW FRAMES COLOUR: TBC
- (H) - FRAMELESS GLASS BALUSTRADE FIXING - TBC
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SIZE	ISO A3
SCALE	1:100
SHEET	REV.
A.11	L



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